

Structural: interior walls to be 2x4 construction, unless otherwise noted, with 1/2" drywall taped, spackled and sanded to a uniform finish. Exterior walls to be 2x6 and insulated with rigid or fiberglass insulation to R-20. Bathroom walls and ceiling to be 1/2" 'green board'. Owner to select door style(s), moldings, cabinetry, counter material and associated hardware.

Tile: Tile work to be provided for bathroom floors including marble threshold. Bathtub surround to be not less than 6'-0" height. Owner to select tiles and pattern/design if desired.

Paint: All walls, ceilings, woodwork and doors to be primed and receive two coats of latex paint. Bathroom paint to be mildew resistant. Owner to select finishes and colors. Carpeting, if applicable, to be selected by owner.

Plumbing: New supply and waste lines to be tied into existing lines. New copper supply and PVC waste lines to be provided for new fixtures as shown per plans. Provide strike plates where piping is located within 2" of the finished face of wood framing. Owner to select all bath fixtures and accessories.

Contractor responsible for field verifying all measurements. Dimensions are finished dimensions, unless otherwise noted, e.g. rough opening (R.O.).

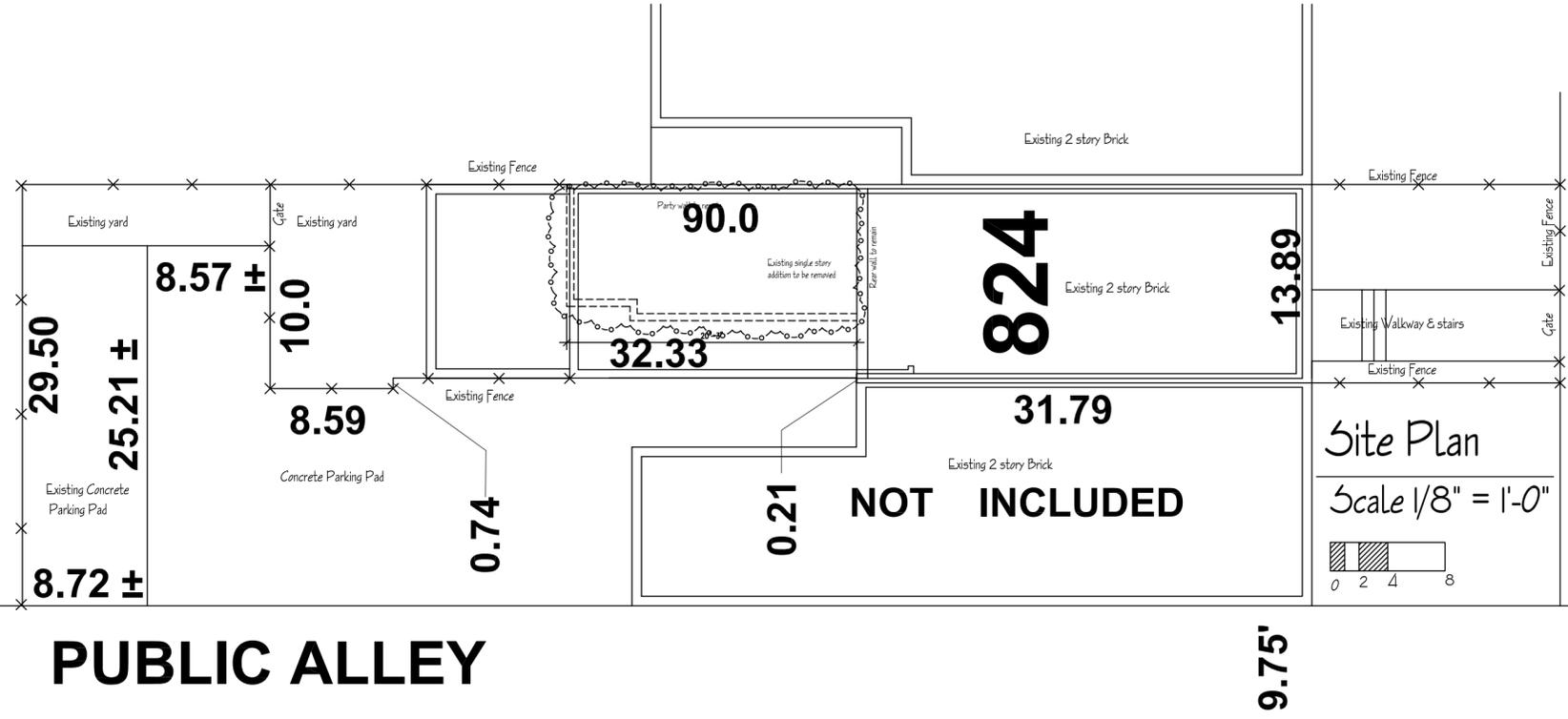
First Floor Plan  
Scale 1/4" = 1'-0"



- Legend
- Existing Party/Exterior Wall
  - Existing Interior Wall
  - Demo
  - New Partition
  - Infill
  - New Opening
  - 1 Hr Fire Rated Wall

Scope of Work:

General: Renovation of Single Family Dwelling to include adding a new 3rd floor. Gut renovation of first and second floors. Demo existing rear single story addition and construct new 2 story addition. New kitchen, baths, electrical and mechanical systems.



Site Plan  
Scale 1/8" = 1'-0"

**STREET, N.W.**

ZONING  
Zone: RF-1  
Lot Size: 1296 Sq. Ft.  
Existing Lot Coverage: 628 Sq. Ft. (48%)  
Proposed Lot Coverage: 713 Sq. Ft. (55%)  
Existing Living Area: 1096 Sq. Ft.  
Proposed Living Area: 1857 Sq. Ft.

Tom Nyein, AIA  
23824 Bennett Chase Drive  
Clarksburg, MD 20871  
(703)981-2853  
tnyein@msn.com

Sq. 475 Lot: 824 507 S St NW

Site Plan  
First Floor Plan

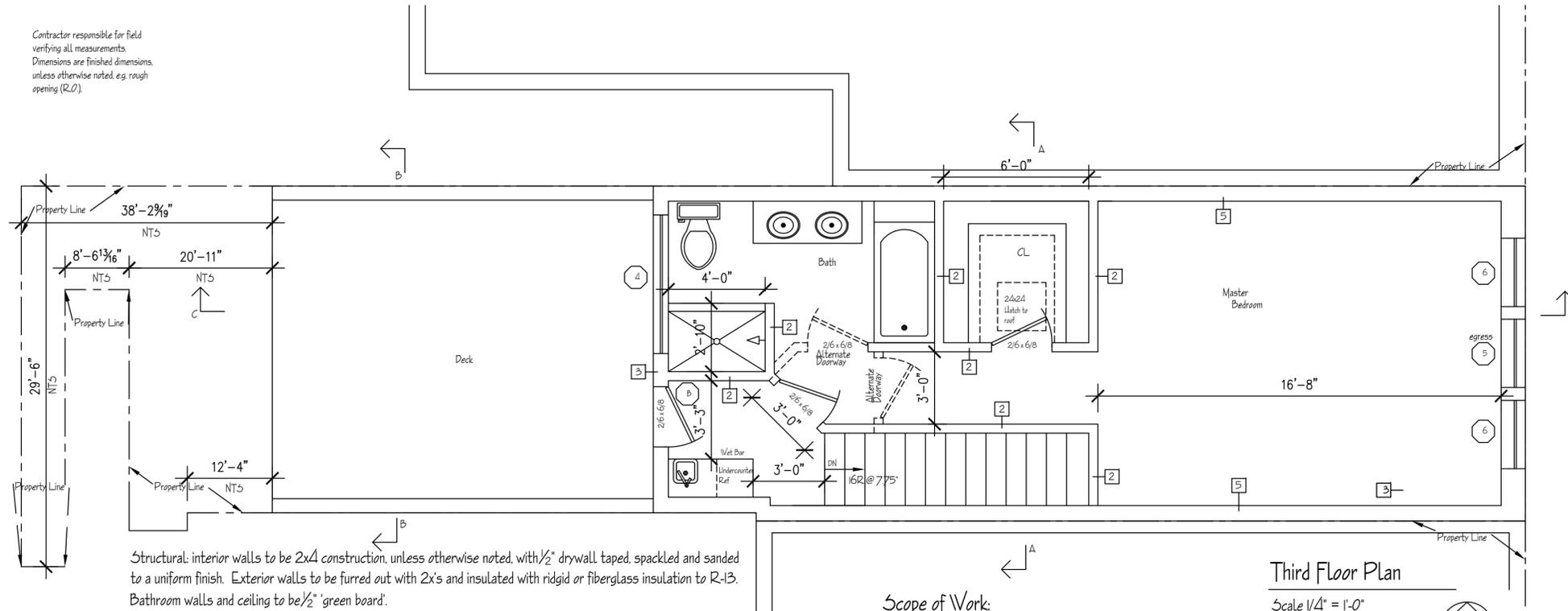
Firm Name and Address  
Inner City Development, LLC  
1516 12th St NW  
Washington, DC 20005

Owner Name and Address  
Columbia Home Development LLC  
1639 Hobart St NW  
Washington, DC 20009

Project	2003	Sheet	
Date	Feb 21, 2020		A0010
Scale	1/4" = 1'-0"		

I am responsible for determining that the architectural designs included in this application are in compliance with all laws and regulations of the District of Columbia. I have personally prepared, or directly supervised the development of, the architectural designs included in this application.  
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Contractor responsible for field verifying all measurements. Dimensions are finished dimensions, unless otherwise noted, e.g. rough opening (R.O.).



Structural: interior walls to be 2x4 construction, unless otherwise noted, with 1/2" drywall taped, spackled and sanded to a uniform finish. Exterior walls to be furred out with 2x's and insulated with rigid or fiberglass insulation to R-13. Bathroom walls and ceiling to be 1/2" green board. Owner to select door style(s), moldings, cabinetry, counter material and associated hardware.

Tile: Tile work to be provided for bathroom floors including marble threshold. Bathtub surround to be not less than 6'-0" height. Owner to select tiles and pattern/design if desired.

Paint: All walls, ceilings, woodwork and doors to be primed and receive two coats of latex paint. Bathroom paint to be mildew resistant. Owner to select finishes and colors. Carpeting, if applicable, to be selected by owner.

Plumbing: New supply and waste lines to be tied into existing lines. New copper supply and PVC waste lines to be provided for new fixtures as shown per plans. Provide strike plates where piping is located within 2" of the finished face of wood framing. Owner to select all bath fixtures and accessories.

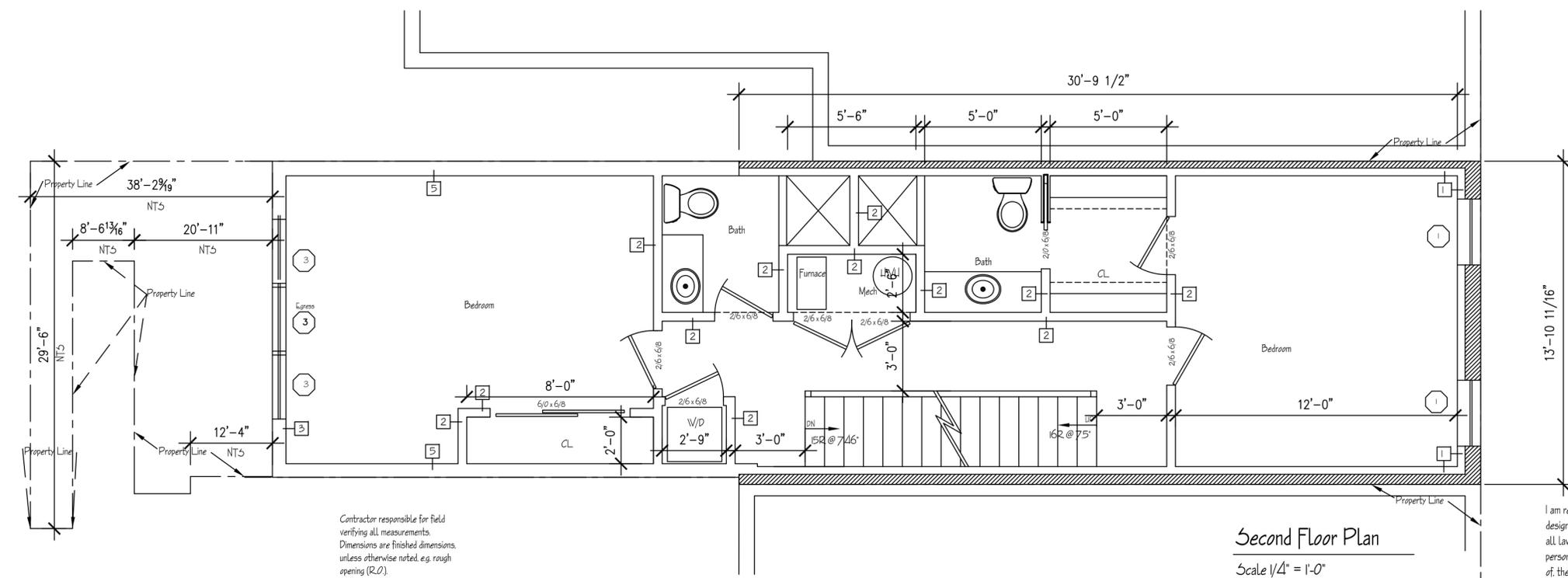
**Scope of Work:**

General: Renovation of Single Family Dwelling to include adding a new 3rd floor. Gut renovation of first and second floors. Demo existing rear single story addition and construct new 2 story addition. New kitchen, baths, electrical and mechanical systems.

**Third Floor Plan**

Scale 1/4" = 1'-0"

- Legend**
- Existing Party/Exterior Wall
  - Existing Interior Wall
  - Demo
  - New Partition/Exterior Wall
  - Infill
  - New Opening
  - 1 Hr Fire Rated Wall



Contractor responsible for field verifying all measurements. Dimensions are finished dimensions, unless otherwise noted, e.g. rough opening (R.O.).

**Second Floor Plan**

Scale 1/4" = 1'-0"

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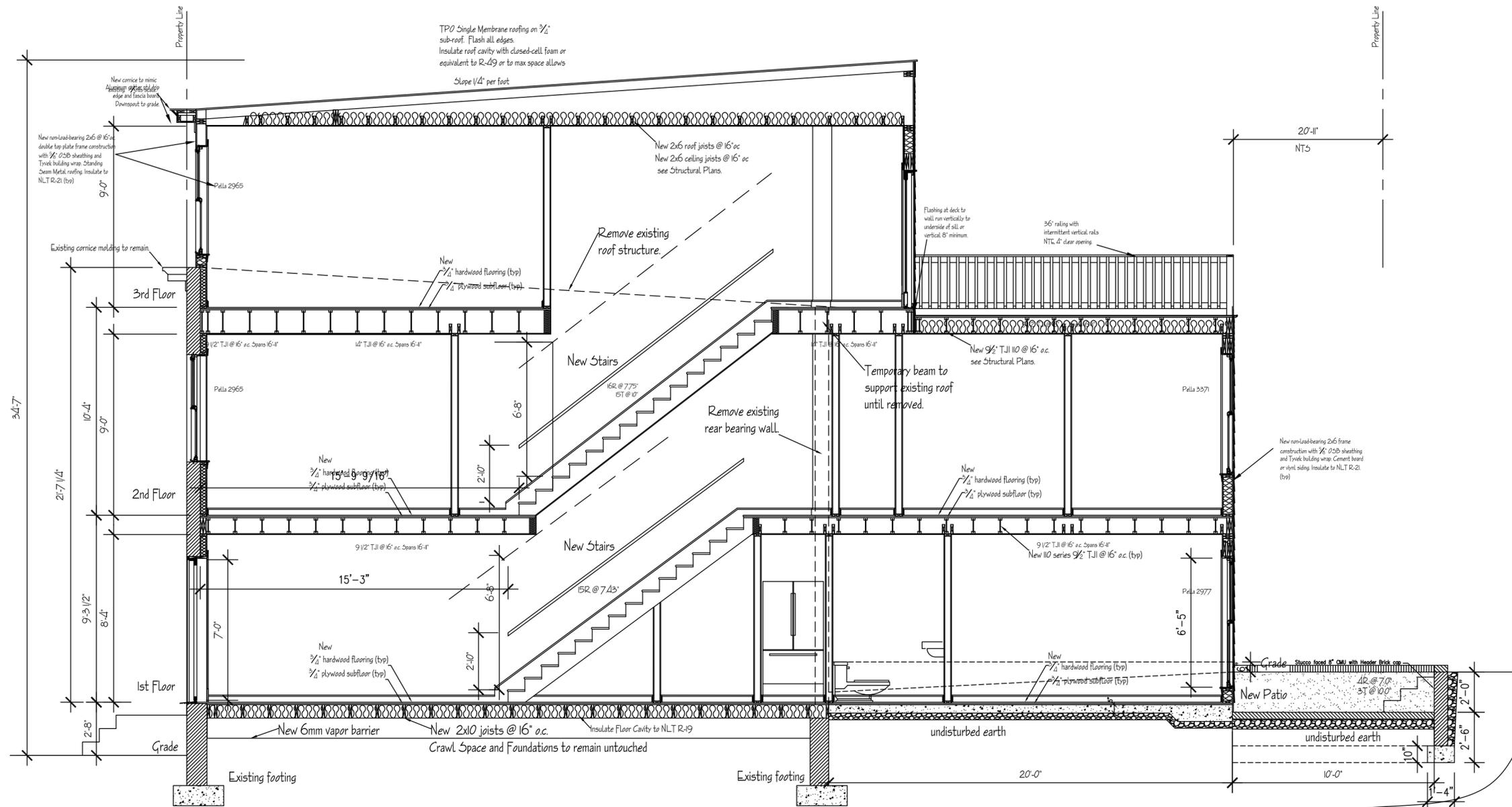
Sq. 475 Lot: 824 507 S St NW

**Second & Third Floor Plans**

**Firm Name and Address**  
Inner City Development, LLC  
1516 12th St NW  
Washington, DC 20005

**Owner Name and Address**  
Columbia Home Development LLC  
1639 Hobart St NW  
Washington, DC 20009

<b>Project</b>	2003	<b>Sheet</b>	
<b>Date</b>	Feb 21, 2020		A0020
<b>Scale</b>	1/4" = 1'-0"		



**Section C-C**  
Scale: 1/4" = 1'-0"

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Sq. 475 Lot: 824 507 S St NW

**Section C-C**

Firm Name and Address  
Inner City  
Development, LLC  
1516 12th St NW  
Washington, DC 20005

Owner Name and Address  
Columbia Home  
Development LLC  
1639 Hobart St NW  
Washington, DC 20009

Project	2003	Sheet	
Date	Feb 21, 2020		A0050
Scale	1/4" = 1'-0"		

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