# :APARTMENTS:

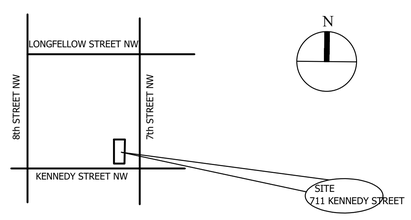
# 711 KENNEDY STREET, NW
# WASHINGTON DC 20002

## GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL INVESTIGATE JOB SITE TO COMPARE CONTRACT DOCUMENTS AND EXISTING CONDITIONS. INCLUDE COST FOR ALL WORK DESCRIBED IN CONTRACT DOCUMENTS AND REQUIRED OR IMPLIED BY EXISTING CONDITIONS. NOTIFY OWNER OF ANY CONFLICTS BETWEEN EXISTING CONDITIONS, DRAWINGS AND NEW WORK, OMISSIONS OR CONFLICTS IN THE DRAWINGS AND ANY RESTRICTIONS RELATED TO THE EXECUTION OF THE WORK.
2. APPLY FOR, OBTAIN AND PAY FOR ALL PERMITS, FEES, INSPECTIONS AND APPROVALS BY LOCAL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT. PROVIDE COPIES OF ALL TRANSACTIONS TO OWNER. NOTIFY OWNER/ARCHITECT OF ANY VARIANCE WITH CODES IN FORCE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK.
3. PROVIDE, AND PAY FOR ALL MATERIALS, LABOR, EQUIPMENT, TAXES, TOOLS, CONSTRUCTION EQUIPMENT, WAREHOUSING, TRANSPORTATION AND DELIVERY COSTS, HOISTING, REMOVAL OF TRASH AND DEBRIS, AND OTHER FACILITIES AND SERVICES NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK.
4. ALL WORK SHALL BE PERFORMED BY THE GENERAL CONTRACTOR UNLESS OTHERWISE NOTED. ALL REFERENCES TO THE "CONTRACTOR" INCLUDE THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS.
5. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR, AND HAVE CONTROL OVER, ALL CONSTRUCTION MEANS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK REQUIRED BY THE CONTRACT DOCUMENTS.
6. THE CONSULTANTS ARE NOT RESPONSIBLE FOR ERRORS, OMISSIONS OR DELAYS BY THE CONTRACTOR.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACTS AND OMISSIONS OF THE CONTRACTOR'S EMPLOYEES, SUBCONTRACTORS, AND THEIR AGENTS AND EMPLOYEES, AND ANY OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR
8. OTHER CONTRACTORS AND THEIR SUBCONTRACTORS MAY BE WORKING ON THE PREMISES SIMULTANEOUS WITH THE DURATION OF THIS CONTRACT. NO ACTION SHALL BE TAKEN ON THE PART OF THIS CONTRACTOR OR ANY SUB-CONTRACTOR TO IMPEDE THE ACCESS OR OPERATION OF ANY OTHER CONTRACTOR ON THE PREMISES, UNION, OR NON-UNION.
9. COOPERATE WITH ALL TRADES ON THE PROJECT NOT UNDER CONTRACT TO THE GENERAL CONTRACTOR (I.E. TELEPHONE, COMPUTER INSTALLERS, ETC.) ANY CHANGES OR DELAYS ARISING FROM CONFLICTS BETWEEN SUCH TRADES SHALL BE THE RESPONSIBILITY OF THE OF THE GENERAL CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
10. VERIFY DIMENSIONS IN THE FIELD. DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE DETAILS.
11. THE OWNER SHALL HAVE THE RIGHT TO MAKE FIELD ADJUSTMENTS IN ORDER TO MAINTAIN DESIGN INTENT.
12. PERFORM ALL WORK AND INSTALL MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS AND IN A MANNER CONSISTENT WITH INDUSTRY STANDARDS OF WORKMANSHIP.
13. THE CONTRACT DOCUMENTS INCLUDE THE WORKING DRAWINGS, ADDENDA, MODIFICATIONS, GENERAL CONDITIONS OF THE CONSTRUCTION CONTRACT AND SPECIFICATIONS.
14. NOT USED
15. NOT USED
16. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL CODES AND REGULATIONS OF ALL GOVERNMENTAL AUTHORITIES HAVING JURISDICTION. SUCH CODES AND REGULATIONS SHALL HAVE PRECEDENCE OVER THAT WHICH IS INDICATED ON THE CONSTRUCTION DOCUMENTS. IN CASES OF DISCREPANCIES, OMISSIONS, CHANGES IN THE CODES OR CODE INTERPRETATIONS BY CODE OFFICIALS WHICH CAUSE A CHANGE IN THE WORK, NOTIFY THE OWNER PRIOR TO PROCEEDING WITH THAT PORTION OF THE WORK AFFECTED BY THE CHANGE.
17. "FURNISH" MEANS SUPPLY ONLY FOR OTHERS TO PUT IN PLACE. "PROVIDE" MEANS FURNISH AND INSTALL, COMPLETE AND IN PLACE. "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR CONDITIONS NOTED. CONTRACTOR TO VERIFY DIMENSIONS AND ORIENTATION. "TYPICAL" MEANS IDENTICAL FOR CONDITIONS NOTED.
18. GC TO VERIFY FOUNDATIONS AND FOOTINGS, EXISTING & NEW STRUCTURAL DWGS AND INFORM STRUCTURAL ENGINNER OF ANY DISCREPENCIES.
19. GENERAL CONTRACTOR SHALL REVIEW THE BASE BUILDING DRAWINGS & DOCUMENTS AND EXISTING BASE BUILDING CONDITIONS, COMPARE AND SHALL COMPLY WITH ALL BUILDING'S CONTRACT REQUIREMENTS AND DESIGN CRITERIA.
20. GENERAL CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, PLUMBING AND SPRINKLER EQUIPMENT (TO INCLUDE ALL PIPING, DUCTWORK AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE LISTED EQUIPMENT ARE PROVIDED. ELEMENTS TO BE EXPOSED OR CONCEALED SHALL BE DETERMINED AND REVIEWED WITH ARCHITECT PRIOR TO CONSTRUCTION PROCEEDING. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL COORDINATE THE LAYOUT AND EXACT LOCATIONS OF ANY AND ALL PARTITIONS, TELEPHONE/DATA OUTLETS, LIGHT SWITCHES AND ACCESS PANELS WITH OWNER/ARCHITECT IN THE FIELD BEFORE PROCEEDING WITH CONSTRUCTION.
21. INSTALL AND MAINTAIN ALL NECESSARY COVERINGS, PROTECTIVE ENCLOSURES, TEMPORARY DOORS AND PARTITIONS AND DUST BARRIERS TO PROTECT ALL OCCUPANTS AND EXISTING WORK AND FINISHES TO REMAIN REPAIR AND REPLACE ANY DAMAGES CAUSED BY IMPROPER PROTECTION AT NO ADDITIONAL CHARGE TO OWNER.
22. WORK DAMAGED DURING CONSTRUCTION OR NOT CONFORMING TO SPECIFIED STANDARDS, TOLERANCE OR MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
23. MAINTAIN ALL EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND LIFE SAFETY SYSTEMS IN WORKING ORDER.
24. EXIT DOORS, EGRESS DOORS, AND OTHER DOORS REQUIRED FOR MEANS OF EGRESS SHALL BE OPERABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT, DURING CONSTRUCTION.
25. FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION, CONTRACTOR SHALL PROMPTLY CORRECT WORK FOUND NOT TO BE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BEAR ALL COSTS OF CORRECTIONS.
26. CONTRACTOR SHALL FULLY ACQUAINT HIMSELF WITH THE CONDITIONS OF THE CONTRACT. LOCAL CONDITIONS RELATING TO LOCATION, ACCESSIBILITY AND GENERAL CHARACTER OF THE CONSTRUCTION SITE AND LOCAL LABOR CONDITIONS SO THAT HE UNDERSTANDS THE NATURE, EXTENT, DIFFICULTIES AND RESTRICTIONS RELATED TO THE EXECUTION OF THE WORK.
27. EXERCISE EXTREME CARE AND PRECAUTION DURING CONSTRUCTION OF THE WORK TO MINIMIZE DISTURBANCES TO ADJACENT TENANTS AND THEIR OCCUPANTS, PROPERTY, PUBLIC THOROUGHFARES, ETC. CONTRACTOR SHALL TAKE PRECAUTIONS AND BE RESPONSIBLE FOR THE SAFETY OF ALL BUILDING OCCUPANTS FROM CONSTRUCTION PROCEDURES.
28. SUBMIT SHOP DRAWINGS AND SAMPLES FOR ALL TRADES TO THE OWNER/ARCHITECT, ALLOWING (5) WORKING DAYS FOR REVIEW. NO CONSTRUCTION SHALL PROCEED UNTIL THE SHOP DRAWING APPROVAL HAS BEEN APPROVED BY THE OWNER. CONTRACTOR SHALL PROVIDE MANUFACTURER'S SPECIFICATION, INSTALLATION INSTRUCTION, SHOP DRAWINGS AND SAMPLES FOR REVIEW AND APPROVAL.
29. ONLY NEW ITEMS OF RECENT MANUFACTURE, OF STANDARD QUALITY, FREE FROM DEFECTS, WILL BE PERMITTED ON THE WORK, REJECTED ITEMS SHALL BE REMOVED IMMEDIATELY FROM THE WORK AND REPLACED WITH ITEMS OF THE QUALITY SPECIFIED. FAILURE TO REMOVE REJECTED MATERIALS AND EQUIPMENT SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY FOR QUALITY AND CHARACTER OF ITEMS USED NOR FROM ANY OTHER OBLIGATION IMPOSED ON HIM BY THE CONTRACT.
30. ATTACHMENTS, CONNECTIONS, OR FASTENINGS OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH BEST PRACTICE. THE DRAWINGS SHOW ONLY GENERAL CONDITIONS TO ASSIST CONTRACTOR; THEY DO NOT ILLUSTRATE NOR ARE THEY INTENDED TO SUGGEST EVERY SUCH DETAIL REQUIRED TO PERFORM THE WORK.
31. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF THE CONTACT WILL BE ACCEPTABLE IN CONSEQUENCE OF OWNER'S OR CONSULTANTS FAILURE TO DISCOVER DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTIVE WORK REVEALED WITHIN REQUIRED TIME GUARANTEES SHALL BE REPLACED BY WORK CONFORMING WITH INTENT OF CONTRACT. NO PAYMENT, WHETHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.
32. PROCURE MATERIALS SO AS NOT TO DELAY SUBSTANTIAL COMPLETION. NOTIFY OWNER WITHIN 5 DAYS OF EXECUTION OF CONTRACT OF ANY MATERIAL DELIVERY WHICH WOULD DELAY COMPLETION OF CONTRACT.
33. THE OWNER'S DESIGNATED AGENT WILL EXERCISE SOLE AUTHORITY FOR DETERMINING CONFORMANCE OF MATERIALS, EQUIPMENT AND SYSTEMS WITH THE INTENT OF THE DESIGN. REVIEW AND ACCEPTANCE OF ALL ITEMS PROPOSED BY CONTRACTOR FOR INCORPORATION INTO THIS WORK WILL BE BY ARCHITECT. THIS FUNCTION WILL APPLY BOTH TO CONTRACT AS INITIALLY SIGNED AND TO THE CHANGES TO CONTRACT BY MODIFICATION DURING PROGRESS OF WORK.
34. REFERENCE TO MAKES, BRANDS, MODELS, ETC. IS TO ESTABLISH TYPE AND QUALITY DESIRED, SUBSTITUTION OF ACCEPTABLE EQUALS WILL NOT BE PERMITTED UNLESS SPECIFICALLY APPROVED BY THE ARCHITECT.
35. CORING, DRILLING OR OTHER SUCH WORK IN OR ADJACENT TO OCCUPIED AREAS SHALL BE PERFORMED AT TIMES OTHER THAN NORMAL WORKING HOURS FOR THE AFFECTED OCCUPANCY UNLESS OTHERWISE INDICATED. GENERAL CONTRACTOR SHALL DIRECTLY COORDINATE WITH BUILDING OWNER'S REPRESENTATIVE, STRUCTURAL ENGINEER, AND AFFECTED TENANT(S). UTILITY OUTAGES SHALL BE SCHEDULED OUTSIDE NORMAL WORKING HOURS FOR THE AFFECTED OCCUPANCY UNLESS OTHERWISE INDICATED.
36. THE GENERAL CONTRACTOR SHALL TAKE ALL REASONABLE CONTROL AND PRECAUTION TO ELIMINATE DUST, NOISE, ODOR, WATER PENETRATION AND THE LIKE TO THE PREMISES AND THE OCCUPANCY.
37. GENERAL CONTRACTOR SHALL PREARRANGE WITH TENANT, OWNER ALL PHASING OF THE WORK INCLUDING DEMOLITION, DELIVERY OF MATERIALS, CONSTRUCTION, CLEANUP, ETC. GENERAL CONTRACTOR SHALL COORDINATE DELIVERIES OF MATERIALS, ELEVATOR USE, ETC., WITH OWNER SO AS NOT TO CREATE CONFLICTS WITH OTHER WORK OR SCHEDULES WITHIN THE BUILDING.
38. THE GENERAL CONTRACTOR SHALL VERIFY THAT ALL CONSTRUCTION DOCUMENTS ARE THE LATEST ISSUE AND THAT ALL SUBCONTRACTORS HAVE COMPLETE SETS OF THE LATEST ISSUE OF THE CONSTRUCTION DOCUMENTS PRIOR TO COMMENCING WITH ANY PORTION OF THE WORK.
39. JUST PRIOR TO THE TENANT'S OCCUPANCY OF ANY PHASE OF THE WORK, THE GENERAL CONTRACTOR SHALL CLEAN ALL SURFACES OF DUST, DEBRIS, LOOSE CONSTRUCTION MATERIALS AND EQUIPMENT AND LEAVE ALL FLOORS VACUUM CLEAN. REMAINING CONSTRUCTION MATERIALS AND EQUIPMENT, IF ANY, SHALL BE MOVED AND TEMPORARILY SECURED IN AN AREA AS DIRECTED BY THE OWNER.
40. ALL FURNITURE LOCATIONS MUST BE FIELD VERIFIED BY OTHERS PRIOR TO SPECIFICATION AND/OR INSTALLATION. AISLE WIDTH OF 3'-8" MIN. MUST BE MAINTAINED UNLESS OTHERWISE NOTED.
41. GC TO PREPARE THE OPENING THROUGH HOUSE WRAP AS PER MANUFACTURER'S INSTRUCTIONS. AT EACH CORNER MAKE A 45° CUT IN THE WRAP. FOLD UP THE WRAP SO THAT THE TOP NAIL FIN OF WINDOW UNIT CAN BE INSTALLED UNDERNEATH IT, TAPED AND PROVIDE FLASHING.
42. GC TO VERIFY AND ENSURE THE LOCAL CODES COMPLIANCE FOR SAFETY GLASS, EXIT AREA REQUIREMENTS, WHILE ORDERING THE WINDOW UNIT.
43. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR & SHALL VERIFY AREA OF LOT, LOT COVERAGE AND COMPLY WITH LOCAL, STATE AND ALL APPLICABLE CODES.

## LOCATION PLAN :

N.T.S.




## GENERAL CONDITIONS

1. ALL WORK AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH ALL CODES HAVING JURISDICTION.
2. OWNER AND STRUCTURAL ENGINEER TO CHECK AND ENSURE THAT THE EXISTING FOUNDATION CAN RECEIVE THESE ADDITIONS/MODIFICATIONS.
3. THE CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT BETWEEN OWNER AND CONTRACTOR (HEREINAFTER REFERRED TO AS THE AGREEMENT) WITH CONDITIONS OF THE CONTRACT (GENERAL, SUPPLEMENTARY AND OTHER CONDITIONS), DRAWINGS, SPECIFICATIONS, ADDENDA ISSUED PRIOR TO THE EXECUTION OF THE AGREEMENT, OTHER DOCUMENTS LISTED IN THE AGREEMENT AND MODIFICATIONS ISSUED AFTER EXECUTION OF THE AGREEMENT.
4. THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL; PERFORMANCE BY THE CONTRACTOR SHALL BE REQUIRED ONLY TO EXTENT CONSISTENT WITH THE CONTRACT DOCUMENTS AND REASONABLY INFERABLE FROM THEM AS BEING NECESSARY TO PRODUCE THE INTENDED RESULTS.
5. THE CONTRACT DOCUMENTS SHALL NOT BE CONSTRUED TO CREATE A CONTRACTUAL RELATIONSHIP OF ANY KIND (1) BETWEEN THE ARCHITECT/ CONSULTANTS AND CONTRACTOR (2) BETWEEN THE OWNER AND A SUBCONTRACTOR OR SUB-SUBCONTRACTOR, OR (3) BETWEEN ANY PERSONS OR ENTITIES OTHER THAN THE OWNER AND CONTRACTOR.
6. EXECUTION OF THE CONTRACT BY A CONTRACTOR IS A REPRESENTATION THAT THE CONTRACTOR HAS VISITED THE SITE AND BECOME FAMILIAR WITH THE LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING WORK AND SHALL NOTIFY OWNER, ARCHITECT AND/OR ENGINEER IF A CONDITION EXISTS WHICH PREVENTS THE CONTRACTOR FROM ACCOMPLISHING THE INTENT OF THE DRAWINGS.
7. GC TO CHECK & VERIFY ALL THE EXISTING DIMENSIONS OF THE EXISTING CONDITIONS AND INFORM THE OWNER, BEFORE STARTING THE WORK.
8. GC TO CHECK & VERIFY WALL THICKNESS, CONDITION OF BEARING WALL, FOUNDATION AND COORDINATE W STRUCTURAL ENGINEER AND INFORM THE OWNER, BEFORE STARTING THE WORK.

## REFLECTED CEILING PLAN NOTES

1. G.C. HAS SOLE RESPONSIBILITY TO COORDINATE MECHANICAL, ELECTRICAL, LIGHTING AND FIRE PROTECTION INSTALLATIONS. LIGHT FIXTURE PLACEMENT TAKES PRECEDENCE OVER OTHER TRADES. G.C. WILL ALSO BE REQUIRED TO COORDINATE THE WORK OF THE TENANT'S CONTRACTS FOR TELECOMMUNICATIONS, SECURITY AND AUDIO VISUAL WORK.
2. G.C. TO COORDINATE LIGHT FIXTURE DEPTH AND PLACEMENT WITH ALL OTHER ABOVE CEILING WORK PRIOR TO ORDERING OF LIGHT FIXTURES.
3. INSTALLATION OF SIGHT BAFFLES ARE REQUIRED AT RETURN AIR SLOTS, ANY AREA VISIBLE FROM THE ROOM SIDE IS TO BE PAINTED FLAT BLACK.
4. CEILING SUPPORT SYSTEMS ARE NOT DESIGNED OR INTENDED TO SUPPORT THE WEIGHT OF ADDITIONAL EQUIPMENT, CABLE, CONDUIT, MECHANICAL EQUIPMENT OR OTHER CONSTRUCTION, ALL SUCH ELEMENTS ARE TO BE INDEPENDENTLY SUPPORTED FROM THE BASE BUILDING STRUCTURE.
5. ALL CEILING MOUNTED LIGHTING AND DEVICES (EXIT SIGNS, SPRINKLERS, RECESSED LIGHTS) IN ACT TO BE CENTERED IN TILE UNLESS OTHERWISE NOTED.
6. READ THESE PLANS IN CONTEXT WITH STRUCTURAL DWGS AND INFORM & COORDINATE W/ STRUCTURAL ENGINEER IF THERE ARE DISCEPENCIES.

## SITE PLAN (refer to detailed SITE PLAN)

SCALE: N.T.S.

N

## LIST OF DRAWINGS:

ARCHITECTURAL DRAWING:

A1.00_CS_COVER SHEET
A2.00_CELLAR & FIRST FLOOR PLANS
A2.01_SECOND FLOOR & THIRD FLOOR PLANS
+ EXISTING BUILDING PICTURES

CIVIL & SURVEY DRAWING BY AAH SURVEY

## PROJECT INFORMATION FOR PDRM

| | |
|---|---|
| PERMIT APPLICATION #: | XXXXX |
| OWNERS: | XXXXXX, POTOMAC AVE, SE, WASHINGTON DC 20007 |
| ARCHITECTS: | ANTHONY UDOKA, AIA |
| STRUCTURAL ENGINEER: | FMC ASSOCIATES |
| MEP ENGINEER: | K K ENGINEERS P.E. |
| DESCRIPTION: | PROPOSED TO ADDITION & ALTERATIONS TO AN EXISTING BUILDING TO BE A 5 UNIT APT. BLDG, EXISTING BUILDING IS DIVIDED W A SMALL OPEN COURT IN THE CENTER. THE FRONT BLDG HAS 2 STORIES AND A PART 3rd STORY AND THE REAR BUILDING HAS 2 STORIES. EXISTING STRUCTURES WILL BE RETAINED THE PROPOSED BUILDING WILL BE A CELLAR+3 STORIES IN FRONT AND THE BUILDING IN THE REAR WILL BE AN EXISTING 2 STORY BUILDING. EXISTING STRUCTURES WILL BE RETAINED. EXISTING LOT GRADING WILL REMAIN THE SAME. |
| LOT INFORMATION | LOT 820 SQUARE 3153, ZONE MU4 REQUIRED REAR YARD 20' MIN., REQUIRED LOT OCCUPANCY 60%<br>EXISTING REAR YARD 5'–0" EXISTING LOT OCCUPANCY 2262.14 SF, i.e. 85.42% (RFR TO BLDG SURVEY DWG)<br>EXISTING BUILDING FOOT PRINT 2262.14 SFT. APPROX (REFER TO BUILDING SURVEY DWG)<br>EXISTING BUILDING HEIGHT 34'.8" APPROX, WILL REMAIN THE SAME.<br>MAX. HEIGHT ALLOWED – 35', EXIST HEIGHT RETAINED – 34'8" FROM BHMP GRADE, GAR 40%<br>FAR PERMITTED 2.5, i.e. 6620.00 SF, EXISTING BLDG FAR 5322.00 SF, (i.e. 80.39% ) |
| AREA PROPOSED: | LOT AREAS BY RECORD = 2648.00 SFT<br>LOT OCCUPANCY PERMITTED 60% i.e. = 769.80 sft,<br>EXIST LOT OCCUPANCY (RETAINED AS–IS, REFER TO SURVEY) = 2262.14 sft (i.e. 85.42% APPROX)<br>EXISTING AREA OF FIRST FLOOR, FRONT BLDG, = 988.00 sft<br>EXISTING AREA OF FIRST FLOOR, REAR BLDG, = 1274.14 sft<br>EXISTING AREA OF SECOND FLOOR, FRONT BLDG, = 988.00 sft<br>EXISTING AREA OF SECOND FLOOR, REAR BLDG, = 1274.14 sft<br>PROPOSED AREA OF THIRD FLOOR, FRONT BLDG, = 988.00 sft<br>PROPOSED AREA OF BUILDING = 5512.28 sft, (i.e. 83.26%) |
| CELLAR: | FIRST FLOOR FLOORING SHALL BE MAX. 5'0" ABOVE THE EXISTING GRADE.<br>PROPOSED CELLAR IN FRONT BLDG IS 988.00 SFT & IT IS NOT COUNTED IN FAR |
| GOVERNING CODES AND STANDARDS: | INTERNATIONAL BUILDING CODE IRC 2015, DCMR 2017, TITLE12 AMMENDMENTS<br>INTERNATIONAL EXISTING BUILDING CODE IEBC 2015, DCMR 12J 2013 BLDG CODE SUPPLEMENT<br>INTERNATIONAL MECHANICAL CODE IMC 2015, DCMR 12E MECHANICAL CODE SUPPLEMENT<br>INTERNATIONAL PLUMBING CODE IPC 2015, DCMR 12F PLUMBING CODE SUPPLEMENT<br>INTERNATIONAL ELECTRICAL CODE IEC 2015, NFPA NEC 2011<br>INTERNATIONAL FIRE CODE IFC 2015, DCMR 12H FIRE CODE SUPPLEMENT<br>INTERNATIONAL ENERGY CONSERVATION CODE IECC 2015, DCMR 12I ENERGY CONSERVATION CODE SUPP<br>~~INTERNATIONAL BUILDING CODE 2015, ANSI 117.1 2009, DCMR 12A SUPPLEMENT~~<br>BICYCLE SPACES, NOT APPLICABLE |
| TYPE OF CONSTRUCTION: | PROPOSED BLDG. IS TYPE VA, SPRINKELED. |
| STANDPIPES: | STANDPIPE IS NOT REQUIRED TO BE PROVIDED PER IBC SECTION 902.1, 905.<br>THE BUILDING WILL BE FULLY SPRINKLED & PROTECTED PER NFPA 13R,<br>FRONT PORCH & DECK WILL BE SPRINKLERED W DRY–HEAD SPRINKLER SYSTEMS. |
| USE GROUP: | R2 |
| PARKING REQUIREMENTS: | PARKING IS NOT REQUIRED. |
| EXISTING BUILDING: | EXISTING BUILDING IS DIVIDED W A SMALL OPEN COURT IN THE CENTER. THE FRONT BUILDING IS A 3 STORY AND THE REAR IS A 2 STORY BUILDING. EXISTING STRUCTURES WILL BE RETAINED. |
| PROJECT STORIES: | THE PROPOSED BUILDING WILL BE A CELLAR+3 STORIES IN FRONT AND THE BUILDING IN THE REAR WILL BE AN EXISTING 2 STORY BUILDING. EXISTING STRUCTURES WILL BE RETAINED. |
| STAIRS: | SHALL BE PER SECTION 1009 & THERE IS ONE INTERNAL STAIR |
| DWELLING UNIT SEPARATION: | SHALL BE CONSTRUCTED HAVING FLOOR SYSTEMS AS 1 HR RATED & STC50 & IIC 50. |
| FIRE BLOCKING/DRAFT STOPPING: | FIRE BLOCKING & DRAFT STOPPING IS REQD IN THE ATTIC SPACE SHALL BE 3000 SFT MAX OR BETWEEN EVERY 2 DWELLING UNITS, WHICHEVER IS SMALLER SECTION 708.4.5 |
| PARAPET: | SHALL BE PER SECTION 705.11.1. SHALL BE 48" HIGH OR ROOF SHALL HAVE 48" WIDE FRT PLYWOOD<br>EXISTING ROOF & ROOF SLOPE TO BE RETAINED, SHALL BE REPAIRED, IF NECESSARY |
| FIRE SUPRESSION: | AUTOMATIC FIRE SPRINKLER SYSTEMS PER NFPA–13D. |
| SECTION EC-4021 - BLDG. THERMAL ENVLOPE | BUILDING INSULATION PER TABLE EC–402.1.1<br>ALL EXTERIOR WALLS TO HAVE R21 INSULATION. ROOF CEILING ASSEMBLY TO HAVE R49 INSULATION.<br>CELLAR TO HAVE R15, SLAB PERIMETER TO HAVE R10 AND SLAB EDGE PROTECTION SHALL HAVE R15. |
| FIRE/SMOKE DETECTORS: | PORTABLE FIRE EXTINGUISHERS INSTALLED. FIRE/SMOKE DETECTORS WILL BE PROVIDED. SEE MEP |
| SHAFT ENCLOSURE: | SHALL BE PER SECTION 713 |
| OPENING PROTECTIVE: | SECTION 716.5 & TABLE 705.8 – OPENINGS IN THE WALL FOR DISTANCE BET 5' TO 10' SHALL BE 25% |
| BICYCLE PARKING SPACE | BIKE PARKING NOT REQUIRED.(DCRA SECTION 802, REQD. FOR 8 OR MORE UNITS BLDG) |
| NEIGHBOR'S CHIMNEY | CHIMNEY NONE ON BOTH SIDES ON NEIGHBOR'S PROPERTY. |
| ENERGY DISPLAY SCREEN | ENERGY DISPLAY SCREEN SHALL BE NOT PROVIDED (PER GREEN ELECTIVE SECTION A106.7, IF PERMITTED.) |
| MEANS OF EGRESS TRAVEL | MEANS OF EGRESS TRAVEL DISTANCE FROM 2ND FLOOR IS 100' MAX. ALLOWED IS 125'0" |
| ENCLOSURES UNDER EXTERIOR STAIRWAYS | THERE SHALL BE NO ENCLOSED USABLE SPACE UNDER EXTERIOR EXIT STAIRWAYS, UNLESS THE SPACE IS COMPLETELY ENCLOSED IN 1–HR FIRE RESISTANCE RATED CONSTRUCTION–1009.9.4 |
| ROOF ACCESS | NON–OCCUPIED ROOF'S ACCESS IS THRU A 4'x3' ROOF ATTIC/HATCH. |
| EXT WALL OPENING PROTECTION: | MAX AREA OF EXTERIOR WALL OPENING PROTECTION IS BASED ON IBC 2012, TABLE 705.8,<br>FOR MORE THAN 3'0" TO LESS THAN 5'0", SHALL BE 15% ALLOWABLE AREA, PROTECTED & SPRINKLED |

CONCEPTUAL PLANS - 01.26.21

I AM RESPONSIBLE FOR DETERMINING THAT THE ARCHITECTURAL DESIGNS & DRAWINGS, INCLUDED IN THIS APPLICATION ARE IN COMPLIANCE WITH ALL LAWS AND REGULATIONS OF THE DISTRICT OF COLUMBIA. I AS AN ARCHITECT HAVE PERSONALLY PREPARED, OR DIRECTLY SUPERVISED THE DEVELOPMENT OF, ARCHITECTURAL DESIGNS INCLUDED IN THIS APPLICATION, WITH MY SEAL.

APARTMENTS: 711 KENNEDY STREET NW
WASHINGTON DC 20002
COVER SHEET

| REVISIONS | |
|---|---|
| DATE | JANUARY 30, 2021 |
| DRAWN | CHECKED |
| JOB NO. A.xxxxxxx | SCALE AS NOTED |
| DRAWING | |

A1.00

SHEET ___ OF ___