



Government of the District of Columbia
Department of Consumer and Regulatory Affairs

Office of the Zoning Administrator

December 24, 2019

Harry Martin
226 5th St SE, Unit 202
Washington, DC 20003

RE: 2216 Rhode Island Avenue, NE (Square 4248, Lot 0022)

Dear Mr. Martin:

This letter summarizes the meeting with my staff at the Preliminary Design Review Meeting (PDRM) on December 5, 2019, regarding the proposed renovation of the existing commercial building located at 2216 Rhode Island Avenue, NE. This letter summarizes the points of the discussion during the meeting and to confirm my determination regarding your proposed project.

You are proposing to renovate an existing one-story brick building with basement and cellar areas into a professional office for your client, and to add a second and third floor apartment on top of the existing building. The existing building covers over 60 percent of the lot, and a rear addition projects into the required rear yard. Your design will include the full renovation of both the first floor and basement/cellar into professional office space, and this design will include the removal of an existing bay window on the front of the building, which cantilevers onto public space. Then a two-story apartment would be built over the front portion of the existing building maintaining the required 60 percent maximum limit on each floor.

I have reviewed the applicable zoning regulations and I have determined that, based on the drawings and documentation you provided at the meeting, your proposed project complies with the current DC Zoning Regulations. The following elements of your drawings referenced above, were identified as conforming as a matter-of-right in the subject MU-4 Zoning District.

- This property currently consists of a basement/cellar & one-story structure above grade on the street side and a two-story structure on the alley side. The current lot occupancy is 86%, which is non-conforming.
- The current structure encroaches into the 15 foot required rear yard, which is non-conforming.
- The MU-4 allows for a FAR of 2.5, with maximum commercial area at a FAR of 1.5.
 - Total FAR 2.5 = 3,968.5sf
 - Max commercial FAR 1.5 = 2,381.1sf
 - Each floor area of the existing building = 1,378.44sf
- The proposed renovation of the existing building will use the following Zoning Regulation, 11-B DCMR 304.5 to reduce the footprint of the existing building.
 - Total basement are = 1,378.44sf, cellar area = 520.44sf excluded
 - Total commercial area 1,378.44sf + 858.0sf = 2,236.44sf
- Apartment addition at the second and third floor is limited to 60% of lot area = 952.44sf max each floor.
- Max FAR = 3,968.50sf – 2,236.44sf commercial = 1,732.06sf residential
- Proposed roof deck over the existing commercial space will be located at the rear behind the 15ft. rear yard setback, but the deck can be located at that point meeting the requirement for the deck guardrail, 1 to 1 setback.

Accordingly, when you file the plans for the building permit, I will approve drawings that are consistent with the information noted above. Please let me know if you have any further questions.

Sincerely, 
 Matthew Le Grant
 Zoning Administrator

Reviewer: Ramon Washington

Attachments: Z-000 Cover Sheet Data Code Zoning. 7DEC19
Z-100 Basement exist'g & demo 2DEC19
Z-101 Section exist'g & demo

This letter is issued in reliance upon, and therefore limited to, the questions asked, and documents submitted in support of the request for a determination. The determinations reached in this letter are made based on the information supplied, and the laws, regulations, and policy in effect as of the date of this letter. Changes in the applicable laws, regulations, or policy, or new information or evidence, may result in a different determination. This letter is NOT a "final writing", as used in Section Y-302.1 of the Zoning Regulations (Title 11 of the District of Columbia Municipal Regulations), nor a final decision of the Zoning Administrator that may be appealed under Section Y-302.1 of the Zoning Regulations, but instead is an advisory statement of how the Zoning Administrator would rule on an application if reviewed as of the date of this letter based on the information submitted for the Zoning Administrator's review. Therefore, this letter does NOT vest an application for zoning or other DCRA approval process (including any vesting provision established under the Zoning Regulations unless specified otherwise therein), which may only occur as part of the review of an application submitted to DCRA.

File Det Let re 2216 Rhode Island Avenue, NE to Martin on 12/24/19

Permit Review Data

PROJECT ADDRESS:
2216 Rhode Island Avenue, N.E.
Washington, DC 20018

PROJECT DESCRIPTION:
This project is the renovation one story brick structure with finished basement and garage. Both floors will be renovated.

Symbols:

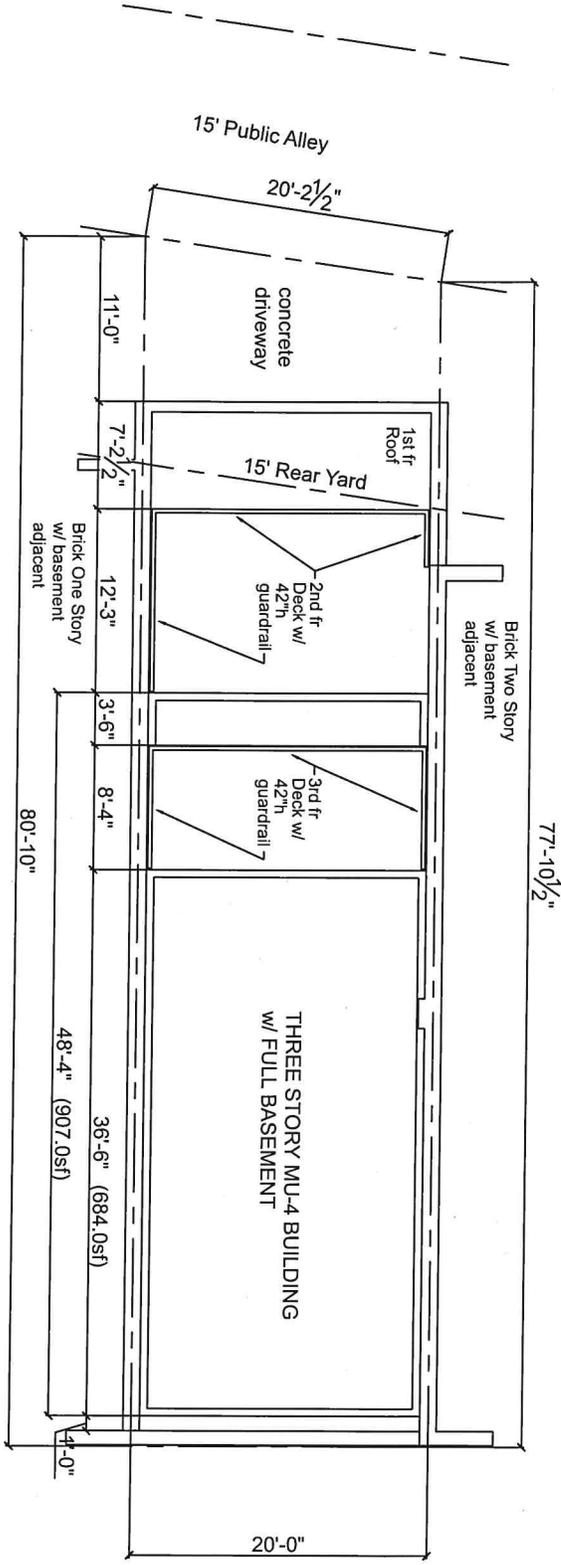
Existing Structures

LOT: 0022
SQUARE: 4248
ZONING DISTRICT: MU-4
LOT AREA: 1587.40sf
LOT COVERAGE:
Building: 1395.45sf
Lot Coverage: 86.8%

Index of Drawings

Z-000 Permit Review Data, Index of Drawings
Z-101 Zoning Calculations
Z-102 Existing Elevations

APPLICABLE CODES:
DCMR 11 2016
IRC 2012
DCMR 12-A1 Building Code Supplement of 2013 Chapter 1
DCMR 12-B, Residential Code Supplement of 2013
IEBC 2012
DCMR 12-J, Existing Building Code Supplement of 2013
NEC 2011



Site Plan - Proposed Building
scale: 1/8" = 1'-0"

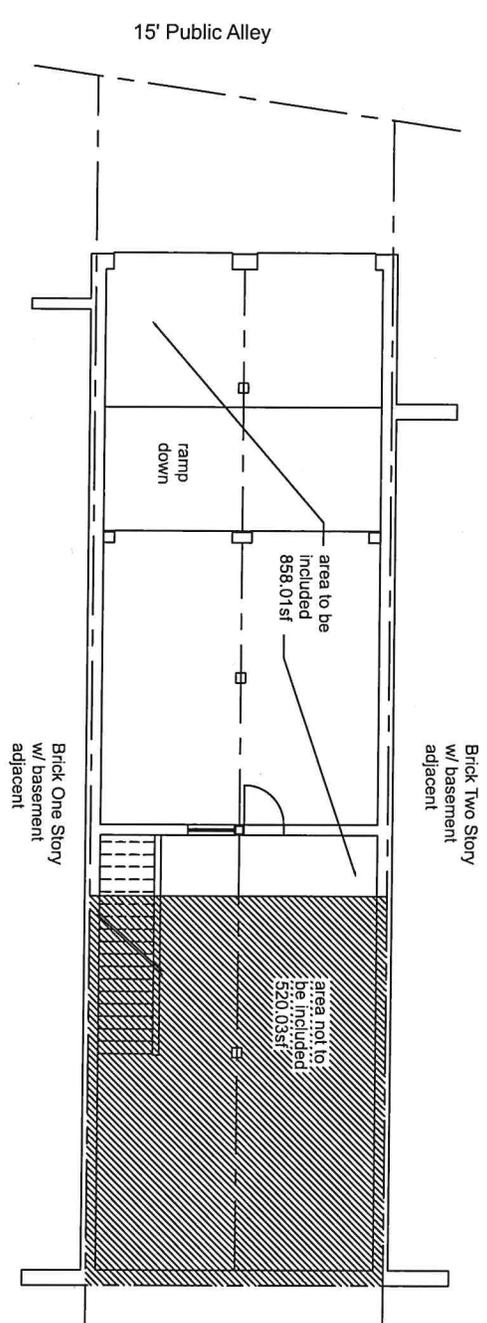
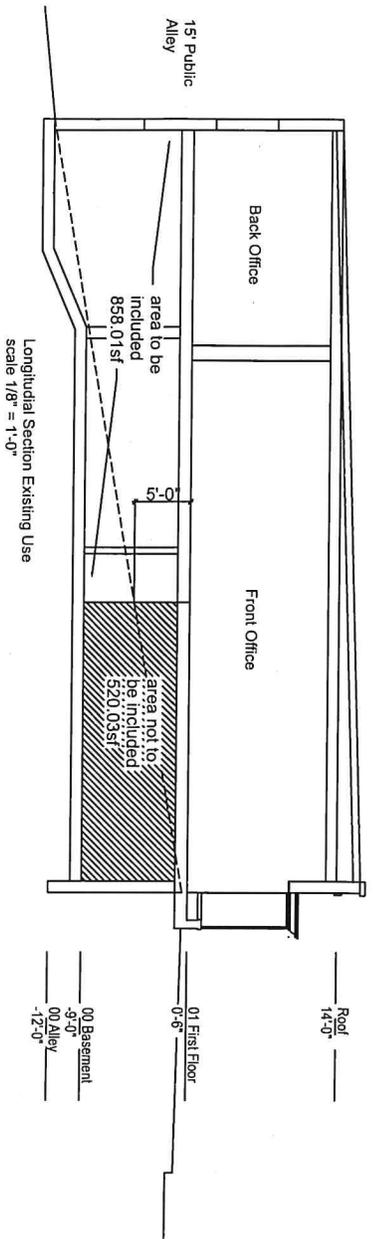
ARCHITECT:
Harry Martin, Architect
226 5TH ST SE, 202
WASHINGTON, DC 20003

INTERIOR DESIGN:
BANDURAdesign
230 10TH ST SE
WASHINGTON, DC 20003

Project Name: **BANDURAdesign Studio**
Project Address: **2216 Rhode Island Avenue NE
Washington, DC 20016**
Project Status

Cover Sheet Site Plan Data

Project number	Z-000
Date	
Drawn by	
Checked by	Scale:



25' public sidewalk above Rhode Island Avenue

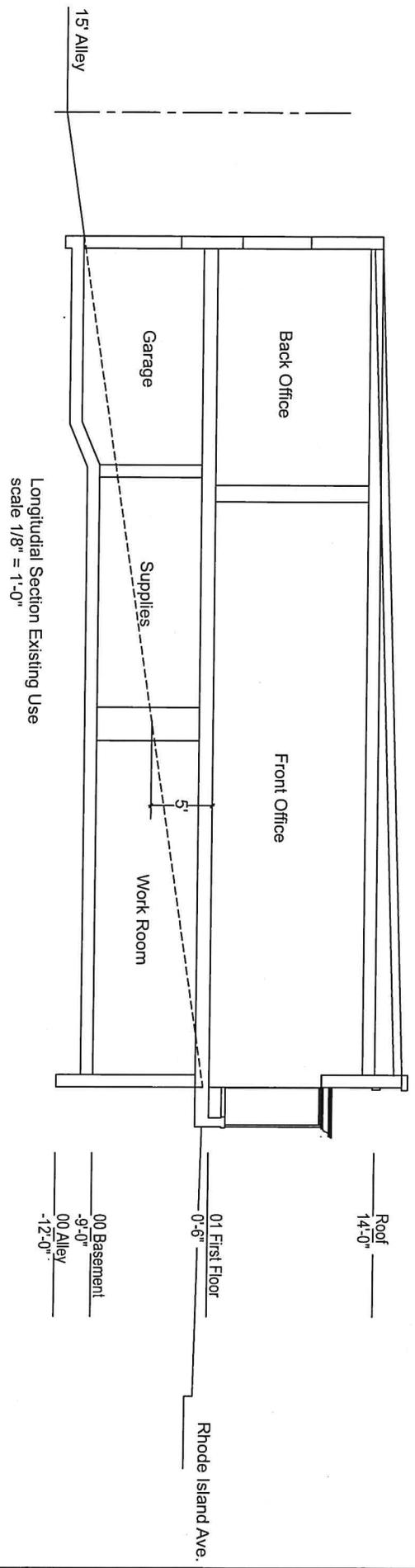
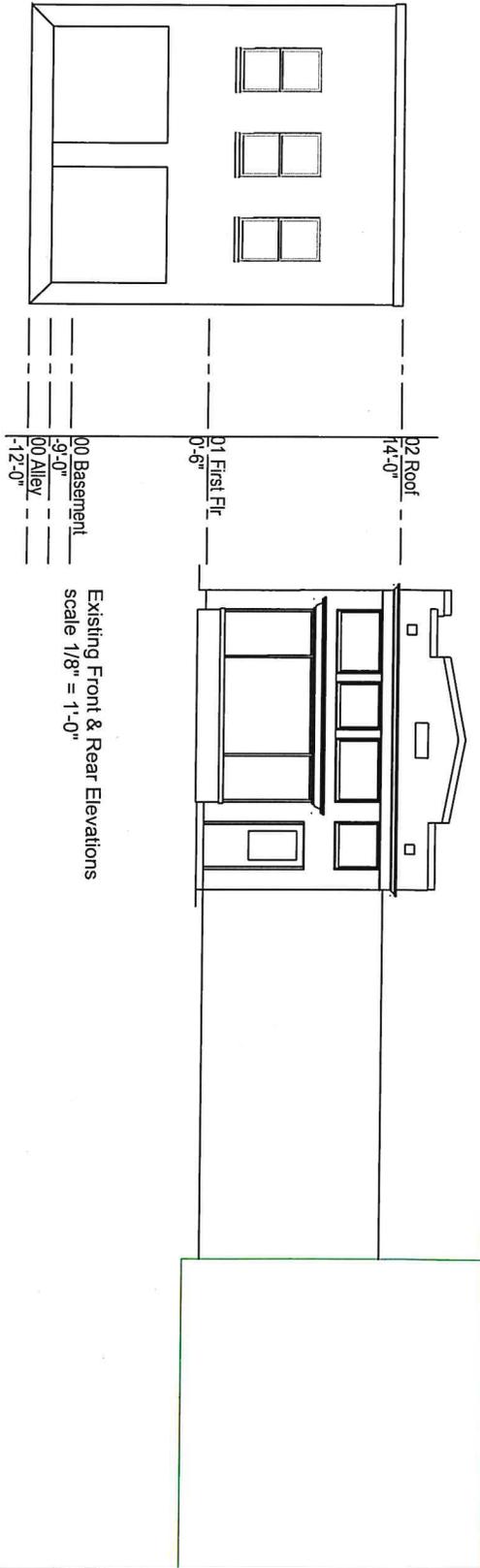
LOT: 0022
 SQUARE: 4248
 ZONING DISTRICT: MU-4
 LOT AREA: 1587.40sf
 LOT COVERAGE:
 Building: 1378.44sf
 Lot Coverage: 86.8%
 Existing Bldg.: basement & first flrs.
 2756.80sf
 Sect. 304.5
 Area of basement more than 5ft below grade
 520.44sf
 Total footage of existing building
 1378sf to be included
 FAR 2.5 max = 3968.5sf
 3968.5sf - 2236.36sf = 1729.15sf allowed additional area
 New construction can not exceed 60% Lot Coverage/flr
 1587.40sf x .60 = 952.44sf max ea residential floor
 2nd flr 907.0sf + 3rd flr 684.0sf = 1,591.0sf new construction

ARCHITECT:
Harry Martin, Architect
 226 5TH ST SE, 202
 WASHINGTON, DC 20003

INTERIOR DESIGN:
BANDURAdesign
 230 10TH ST SE
 WASHINGTON, DC 20003

Project Name BANDURAdesign Studio
Project Address 2216 Rhode Island Avenue NE
 Washington, DC 20016
 Project Status

Zoning Calculations
 Project Number: _____
 Date: _____
 Drawn by: _____
 Checked by: _____
 Scale: **Z-100**



ARCHITECT:
Harry Martin, Architect
 226 5TH ST SE, 202
 WASHINGTON, DC 20003

INTERIOR DESIGN:
BANDURAdesign
 230 10TH ST SE
 WASHINGTON, DC 20003

Project Name: **BANDURAdesign Studio**
 Project Address: **2216 Rhode Island Avenue NE
 Washington, DC 20016**

Section Existg & Demo
 Project number: _____
 Date: _____
 Drawn By: _____
 Checked By: _____
 Scale: **Z-101**