



Government of the District of Columbia
Department of Consumer and Regulatory Affairs

Office of the Zoning Administrator

January 7, 2020

AHMANN, LLC
4408 Beechwood Road
University Park, Maryland 20782

Attention: Thomas Ahmann, AIA

Re: 4411 16th Street, NW - Determination Letter

Dear Mr. Ahmann:

This is to confirm the substance of the discussion with Zoning Technician, Daniel Calhoun, at a Preliminary Design Review Meeting (PDRM) on November 13, 2019, concerning a proposed two story addition along the back of the building and interior renovations throughout to 4411 16th Street, NW. Currently the building is a church with two attached structures. The discussion had specific references to Lot 0053 on Square 2701, hereinafter referred to as the "Project". The lot is zoned R-1-B. A plat and a zoning summary is attached as reference, dated November 19, 2019 (updated after PDRM).

You are proposing to construct a two story addition at the rear of the building and renovate the interior to maintain the location of the existing exterior walls. The floor area will be increased from 9890.00 sq. ft. to 11948.00 sq. ft. The building currently occupies 47 percent of the lot, with a 25 ft. setback at the back, 9 ft. setback on the right side, and no setback on the left side. The following is a list of clarifications provided for the various aspects zoning as related to the project:

1. The proposed lot occupancy of the addition will not be increased more than 9.9%, this will alleviate the pervious surface requirements of 11-C§501.2(b).
2. The proposed expansion of gross floor area will not be increased more than 25%, this will alleviate the vehicle parking requirements of 11-C §704.1.

3. The proposed addition along the back side of the building will meet the current setbacks of 8 ft. along Alison Street, and 9 ft. along the right side to match the current setback, and 25 ft. at the rear setback.
4. The proposed addition to house additional church function space can be added by-right, and does not require relief from the BZA, as currently proposed on the Plat.

Accordingly, when you file the plans for a building permit, I will approved drawings that are consistent with the information noted above, which as proposed do not require BZA relief. Please let me know if you have any further questions.

Best Regards,



Matthew Le Grant
Zoning Administrator

Attachments: Pentecostal Emanuel Church 191119 Site Plan

Zoning Technician: Daniel Calhoun

This letter is issued in reliance upon, and therefore limited to, the questions asked, and documents submitted in support of the request for a determination. The determinations reached in this letter are made based on the information supplied, and the laws, regulations, and policy in effect as of the date of this letter. Changes in the applicable laws, regulations, or policy, or new information or evidence, may result in a different determination. This letter is NOT a "final writing", as used in Section Y-302.1 of the Zoning Regulations (Title 11 of the District of Columbia Municipal Regulations), nor a final decision of the Zoning Administrator that may be appealed under Section Y-302.1 of the Zoning Regulations, but instead is an advisory statement of how the Zoning Administrator would rule on an application if reviewed as of the date of this letter based on the information submitted for the Zoning Administrator's review. Therefore, this letter does NOT vest an application for zoning or other DCRA approval process (including any vesting provision established under the Zoning Regulations unless specified otherwise therein), which may only occur as part of the review of an application submitted to DCRA.

File Det Let re 4411 16th St., NW

PDRM ISSUE

IGLESIA DE DIOS PENTACOSTAL EMANUEL

4411 16TH STREET, NW WASHINGTON, D.C. 20011

ZONING SUMMARY

SUBJECT PROPERTY
4411 16TH STREET, NW WASHINGTON, DC 20011

LOT-0053 SQUARE: 2701 ZONE: R-1-B

LOT SIZE: 0.24 (10,696 SQ. FT.)

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PROPOSED GROSS FLOOR AREA: 11,248 SQ. FT. (ADDITION OF 2,658 SQ. FT.)

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SKETCH: THE IMPROVEMENTS SHOWN ON THIS PLAN ARE APPROXIMATED FROM:

GOOGLE MAPS AERIAL VIEW

GOOGLE MAPS 3D VIEW

BOUNDARY SURVEY REQUIRED MOVING FORWARD

USE INFORMATION

EXISTING USE: INSTITUTIONAL, RELIGIOUS BASED

PROPOSED USE: INSTITUTIONAL, RELIGIOUS BASED, NO CHANGE

GENERAL RULES

NONCONFORMITIES:

PREVIOUS SURFACE

GREEN AREA RATIO

VEHICLE PARKING

INCLUSIONARY ZONING

PENTHOUSES

DEVELOPMENT STANDARDS

LOT WIDTH

LOT AREA

LOT AREA

PIECE AREA RATIO

COURTS

HEIGHT

PENTHOUSE HEIGHT

NA

DISTRICT OF COLUMBIA GOVERNMENT
OFFICE OF THE SURVEYOR

Washington, D.C., October 7, 2019

Plat for Building Permit of: SQUARE 2701 LOT 53

Scale: 1 inch = 20 feet

Recorded in Book 208 Page 19

Receipt No. 20-00037 Drawn by: A.S.

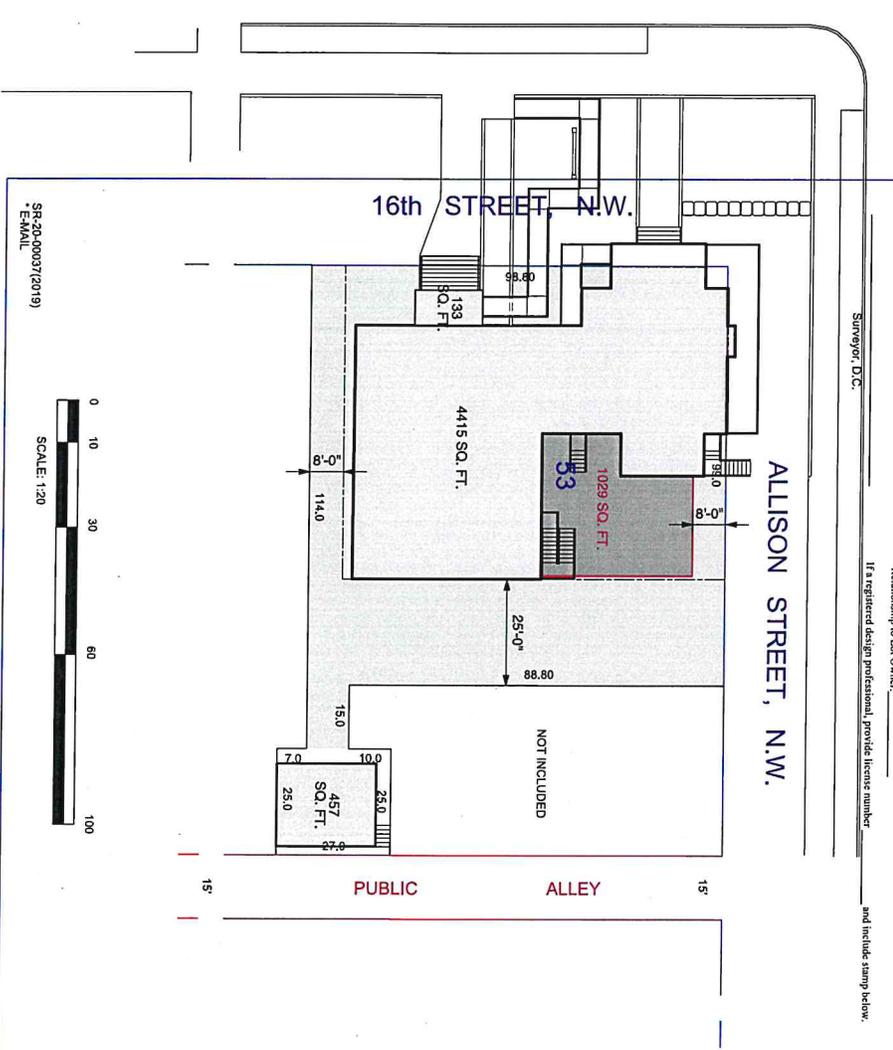
Furnished to: KELLY NORTH

I hereby certify that the dimensions and configuration of the lot(s) hereon depicted are consistent with the records of the Office of the Surveyor unless otherwise noted, but may not reflect actual field measurements. The dimensions and configuration of A&E lots are subject to change, and may not necessarily be the same as those shown on the deed description(s).

If a registered design professional, provide license number _____ and include stamp below.

Printed Name: _____ Date: _____

Relationship to Lot Owner: _____



**IGLESIA DE DIOS
PENTACOSTAL EMANUEL
ADDITION & RENOVATIONS**

4411 16TH STREET, NW
WASHINGTON, D.C. 20011

**ZONING &
DC PLAT**

AHMANN LLC
ARCHITECTURAL SERVICES
4400 BEECHWOOD ROAD UNIVERSITY PARK, MARYLAND 20782

PHONE 301 864 1334
FAX 301 864 6818

DC PLAT DATED 10-07-2019
WITH SUPPLEMENTAL INFORMATION BY: AHMANN LLC ARCHITECTURAL SERVICES

A-0a

Ahmann LLC
© 2019

Professional Certification: I hereby certify that the information contained in this plat was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Maryland. Dec 12/20/2019

ISSUE DATE
19 NOVEMBER 2019