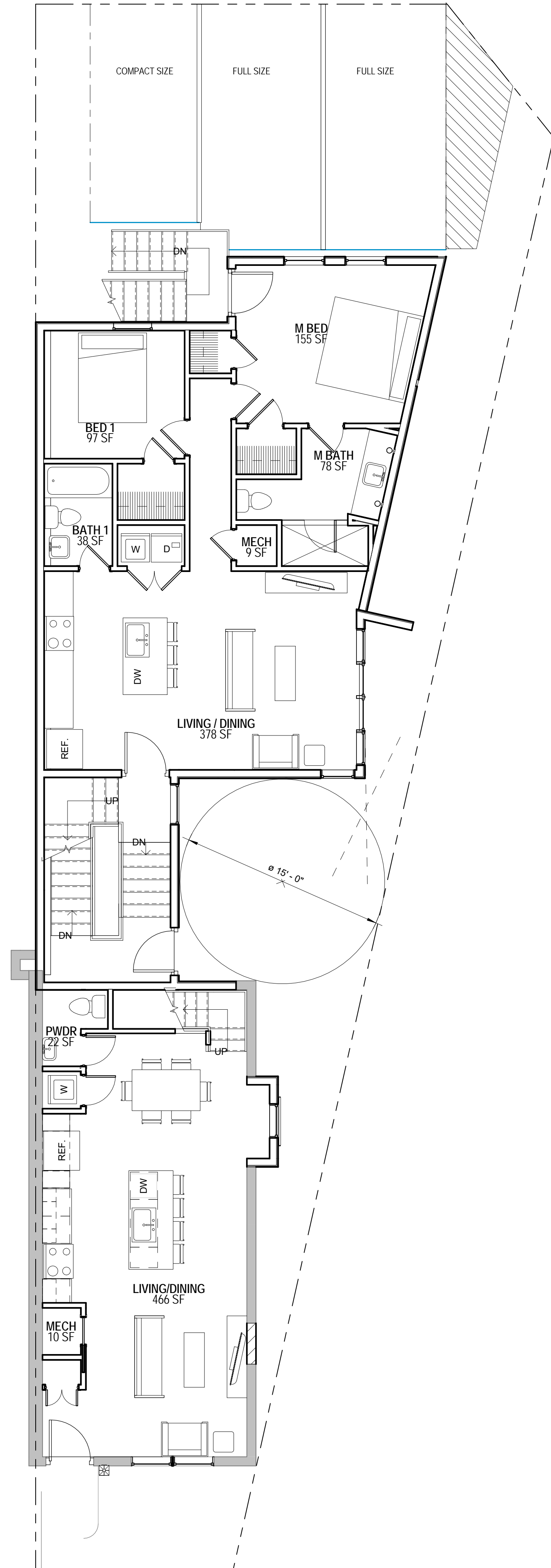
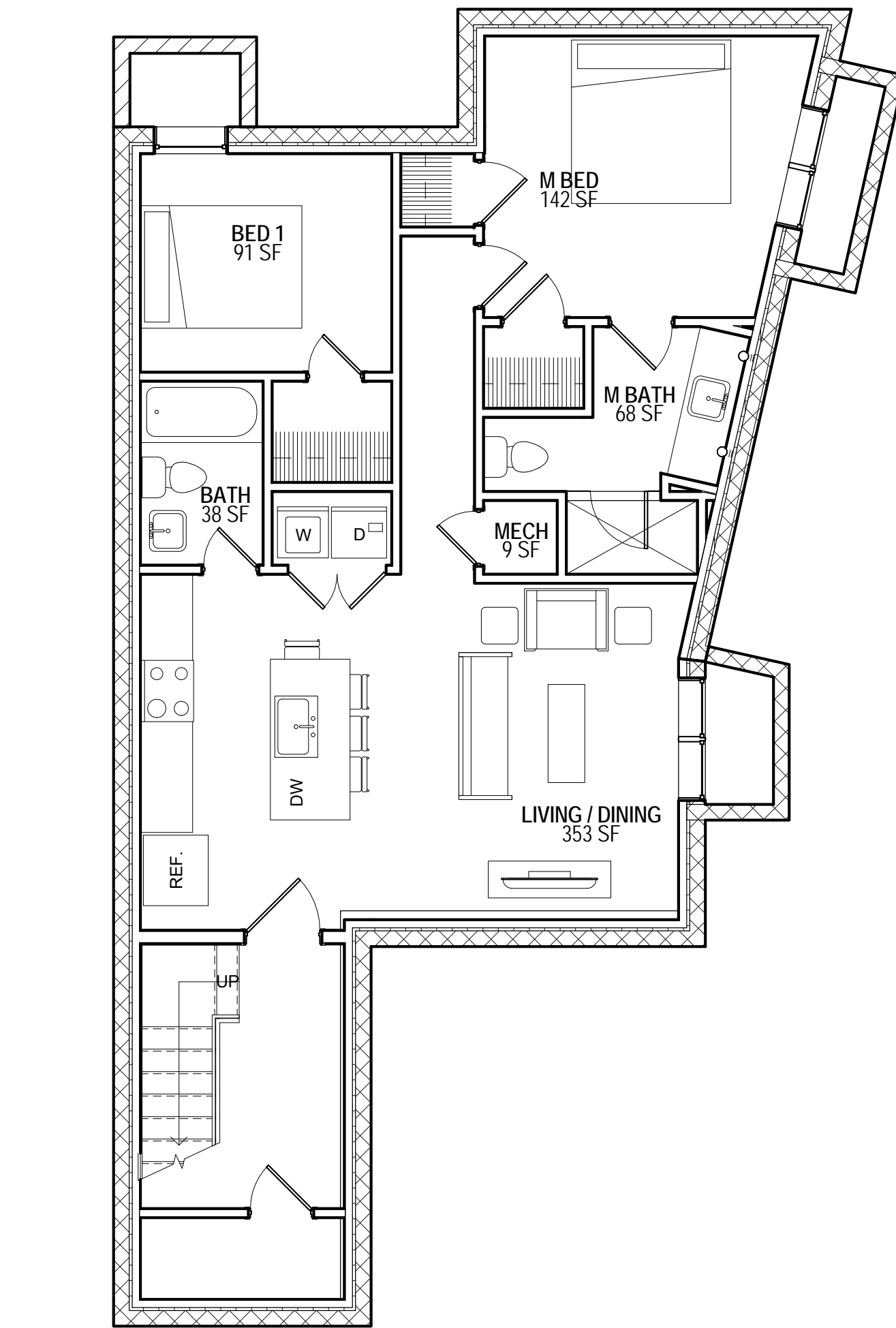


④ LEVEL 2 - BACK
3/16" = 1'-0"



③ LEVEL 1 - BACK
3/16" = 1'-0"



② CELLAR
3/16" = 1'-0"

ZONING ANALYSIS	
ZONE:	R-A-2
LOT:	3333 SQFT
MAX LOT OCCUPANCY:	60% (2000 SQFT)
PROPOSED LOT OCC:	50.9% (1697 SQFT)
MAX FAR:	
MAX FLOOR AREA:	1.8
PROPOSED FAR:	5999 SQFT
PROPOSED FLOOR AREA:	1.79
GROSS FLOOR AREA	
CELLAR:	1058 SQFT
FIRST FLOOR:	1597 SQFT
SECOND FLOOR:	1647 SQFT
THIRD FLOOR:	1647 SQFT
FOURTH FLOOR:	1078 SQFT

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[F] 202.350.4245
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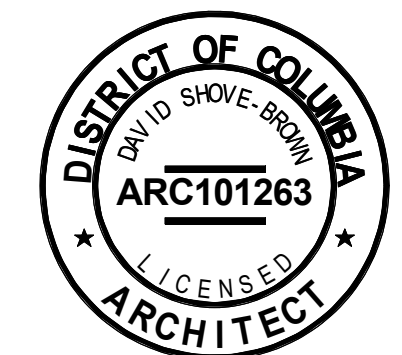
CONSULTANTS

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PROJECT: **RESIDENCE765**
ADDRESS: **765 18th St NE**
Washington, DC 20002

NO.	ISSUE	DATE
0	FOR PDRM	08/28/2017

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SHEET TITLE: ARCHITECTURAL FLOOR PLANS

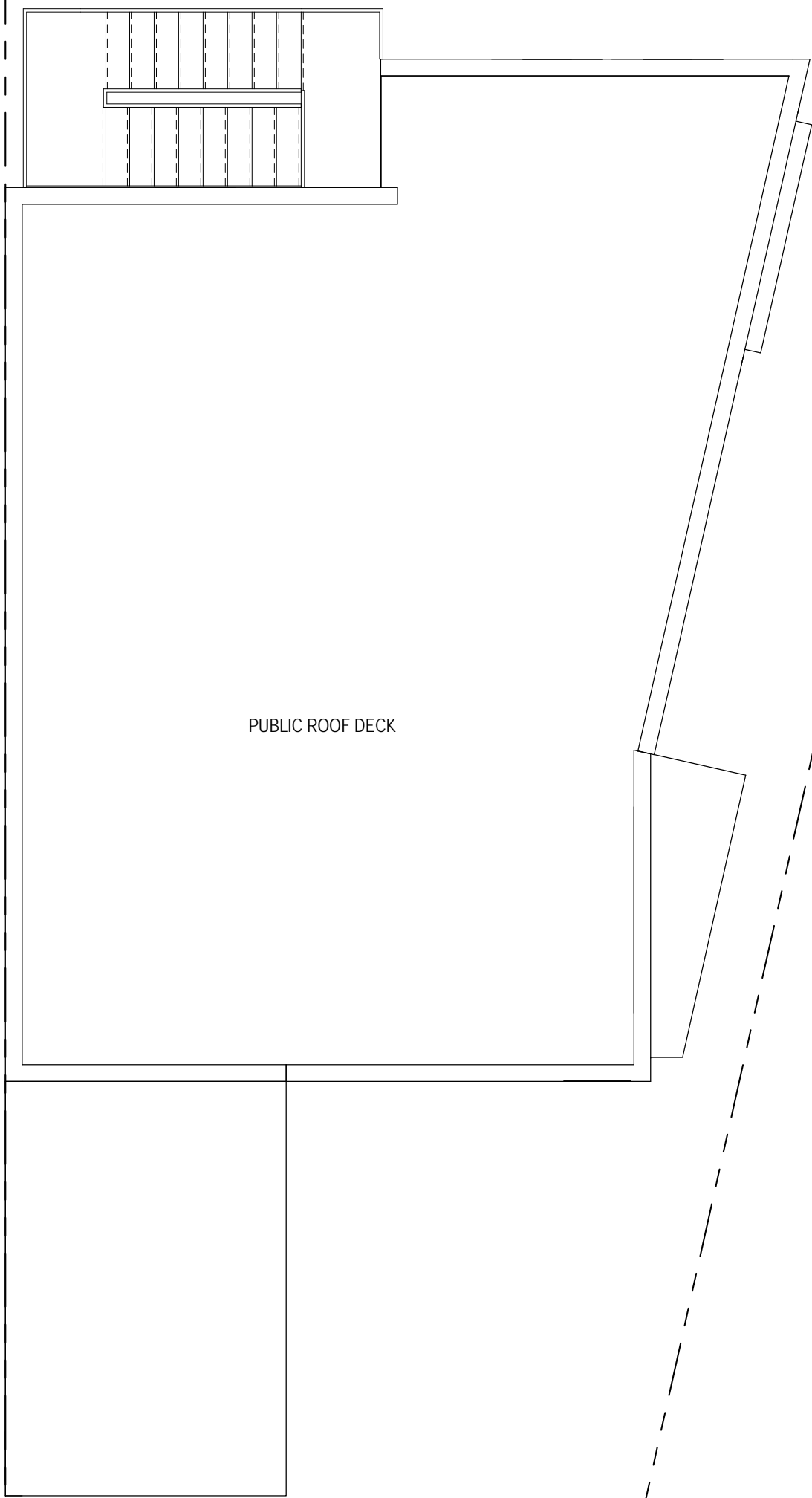
PROJECT NO: 2017.93

DATE: 08/07/17

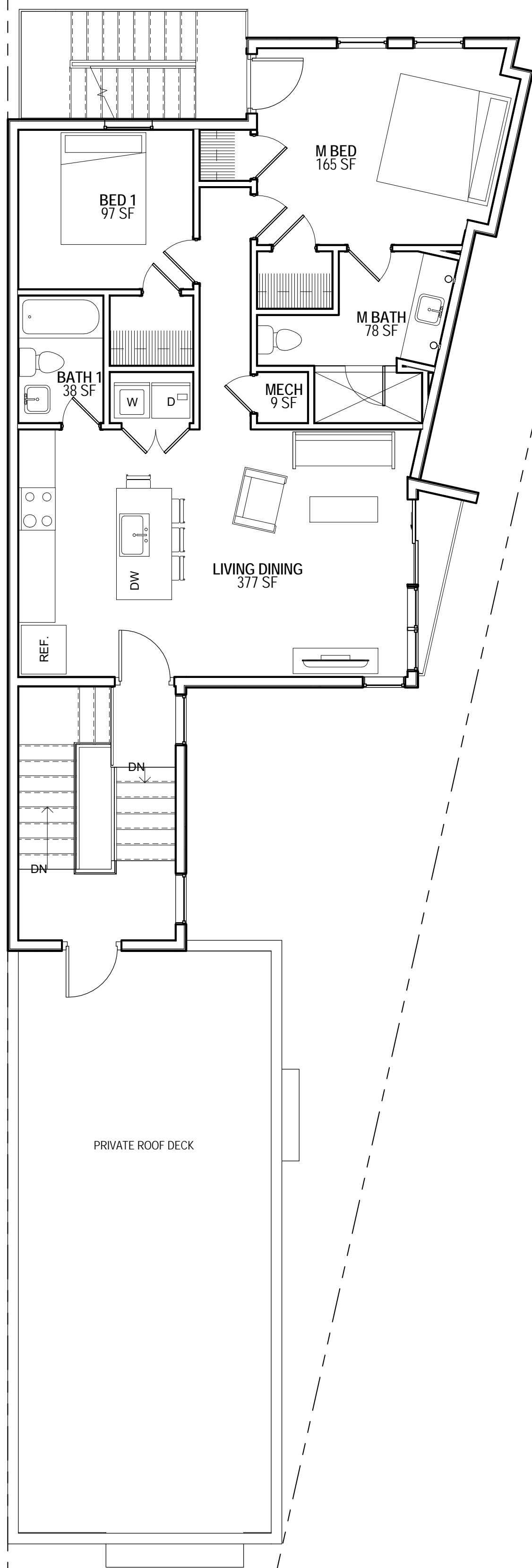
SCALE: 3/16" = 1'-0"

A0011

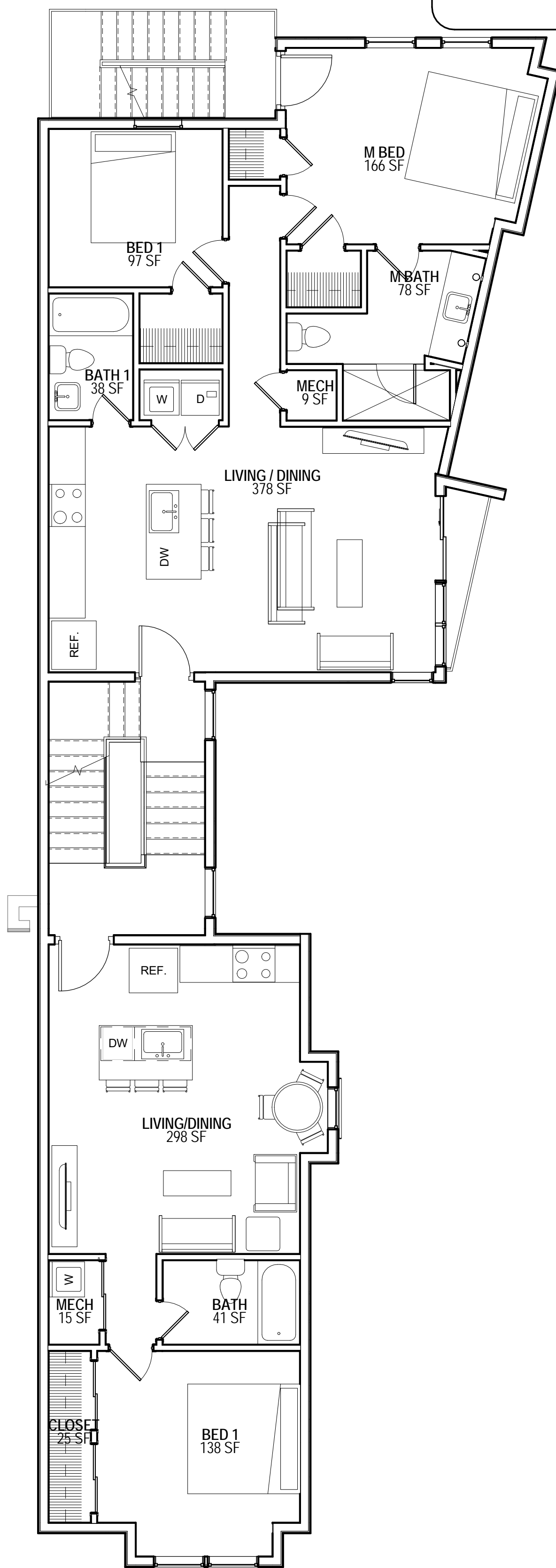
③ ROOF
3/16" = 1'-0"



② Level 4
3/16" = 1'-0"



① LEVEL 3 - BACK
3/16" = 1'-0"



CONSTRUCTION GENERAL NOTES

1. ALL DIMENSIONS TO FINISH FACE, U.N.O.
2. ALL INTERIOR PARTITIONS TO BE TYPE A, U.N.O. SEE G1.01 FOR PARTITION SCHEDULE
3. ALL INTERIOR WALLS TO BE PAINTED, U.N.O.
4. ALL CEILINGS TO BE 1/2" GWB - PAINTED - FLAT FINISH
5. ALL WALLS TO BE PAINTED - EGGSHELL FINISH
6. REPAIR ALL WALLS EXISTING TO REMAIN AS REQUIRED
7. SEE ELEVATIONS FOR WINDOW TAGS
8. PROVIDE ARC-FAULT PROTECTION FOR ALL LIVING SPACE OUTLETS TO COMPLY W/ IRC E3802 OR NEC210.12
9. ALL FLOORING TO BE CONTINUOUS HARDWOOD SPECIFIED BY OWNER, U.N.O.
10. REPLACE ALL EXISTING WINDOWS W LOW-E GLASS WINDOWS
11. GC TO VERIFY INSULATION OF EXISTING EXTERIOR WALLS TO REMAIN MEETS R8/13 ACCORDING TO 2012 IECC 402.1.1
12. AIR LEAKAGE RATE NOT TO EXCEED 3 AIR CHANGES PER HOUR. GC TO TEST BUILDING THERMAL ENVELOP IN ACCORDANCE WITH 2012 IECC 402.4.1.2

EXISTING TO REMAIN

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SHEET TITLE: ARCHITECTURAL FLOOR PLANS

PROJECT NO: 2017.93

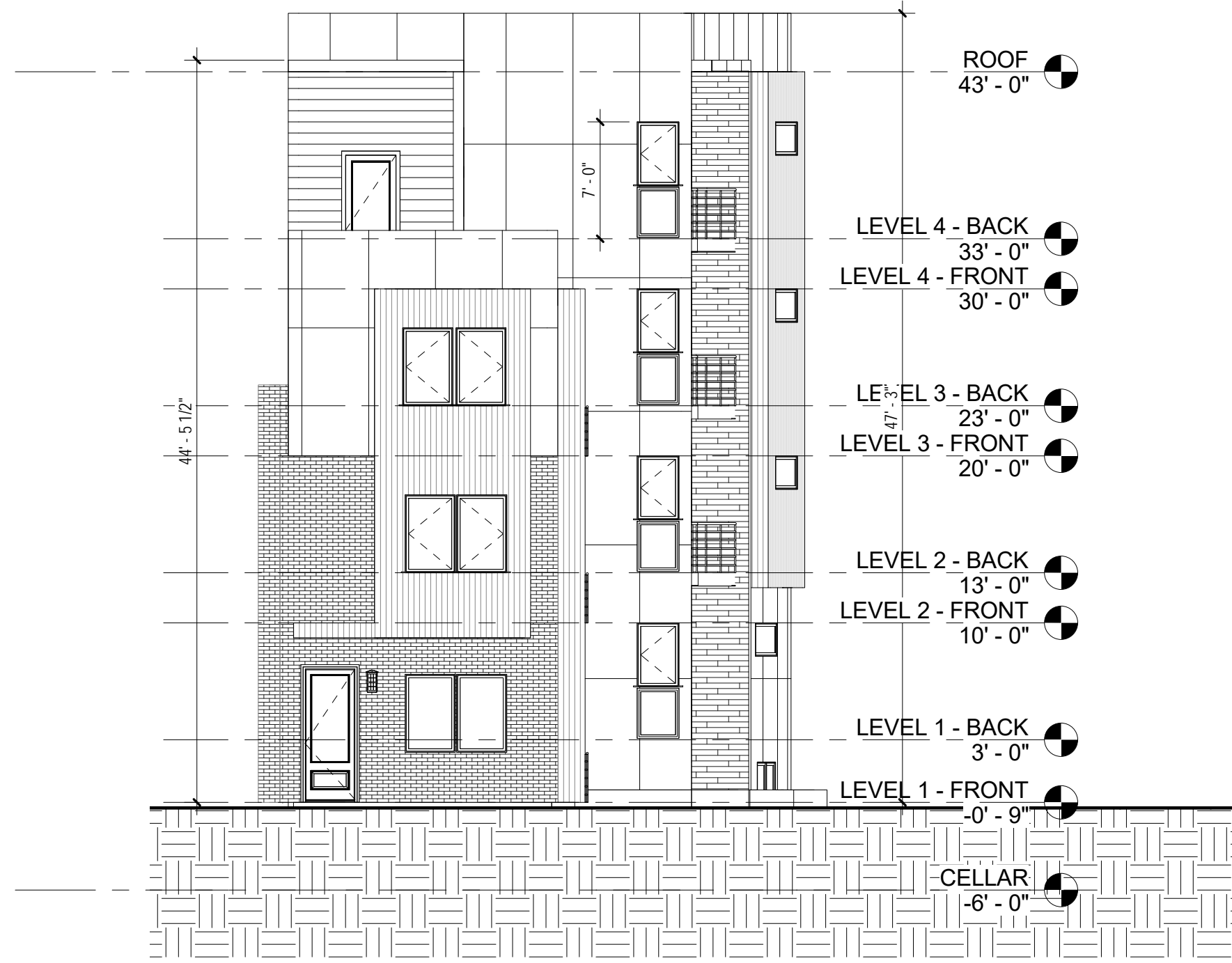
DATE: 10/02/17

SCALE: As indicated

A0012



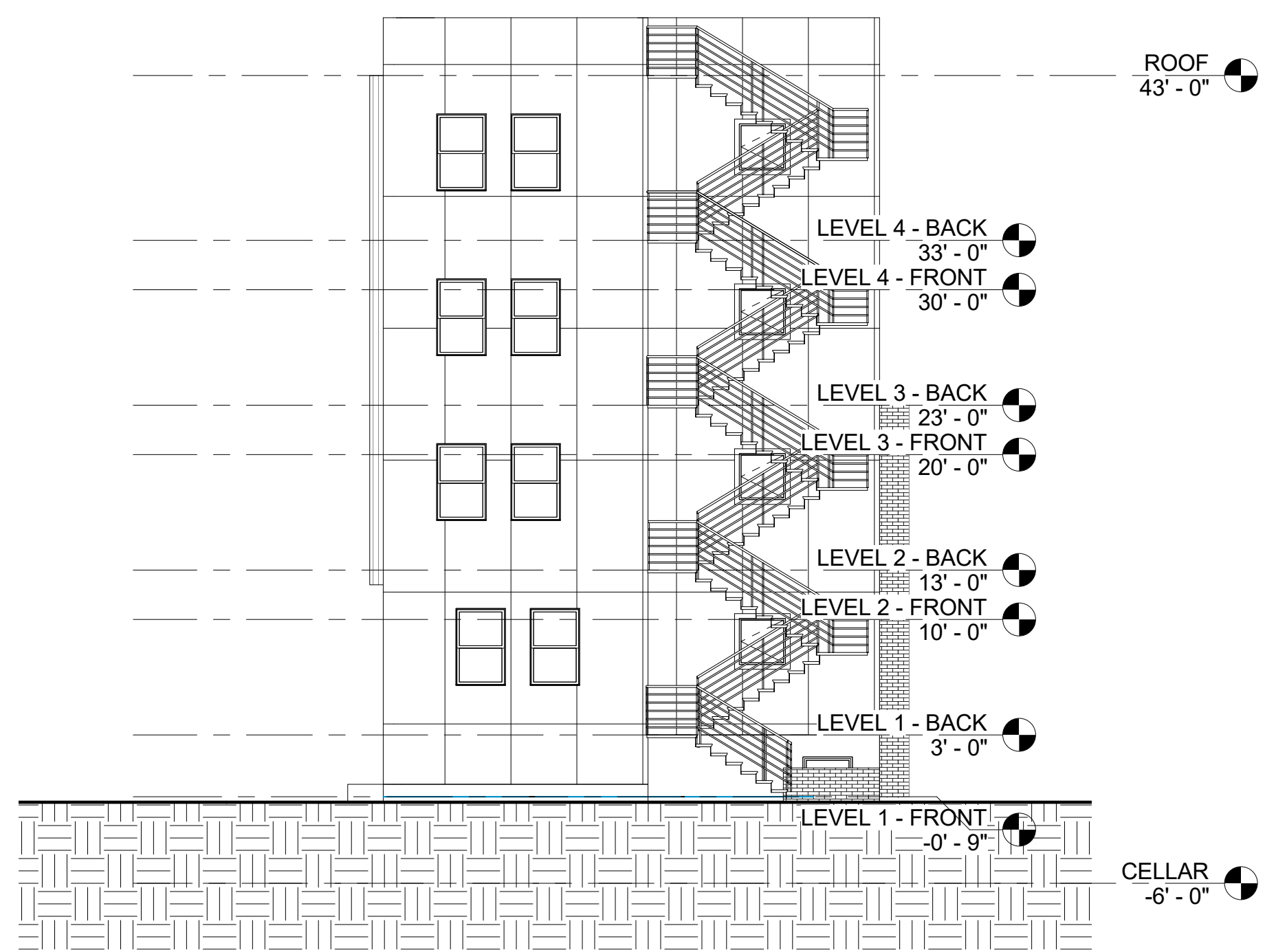
① SOUTH
1/8" = 1'-0"



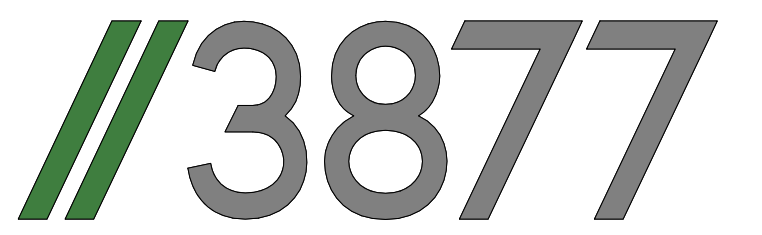
② WEST
1/8" = 1'-0"



④ Elevation 1 - a
1/8" = 1'-0"



③ EAST
1/8" = 1'-0"



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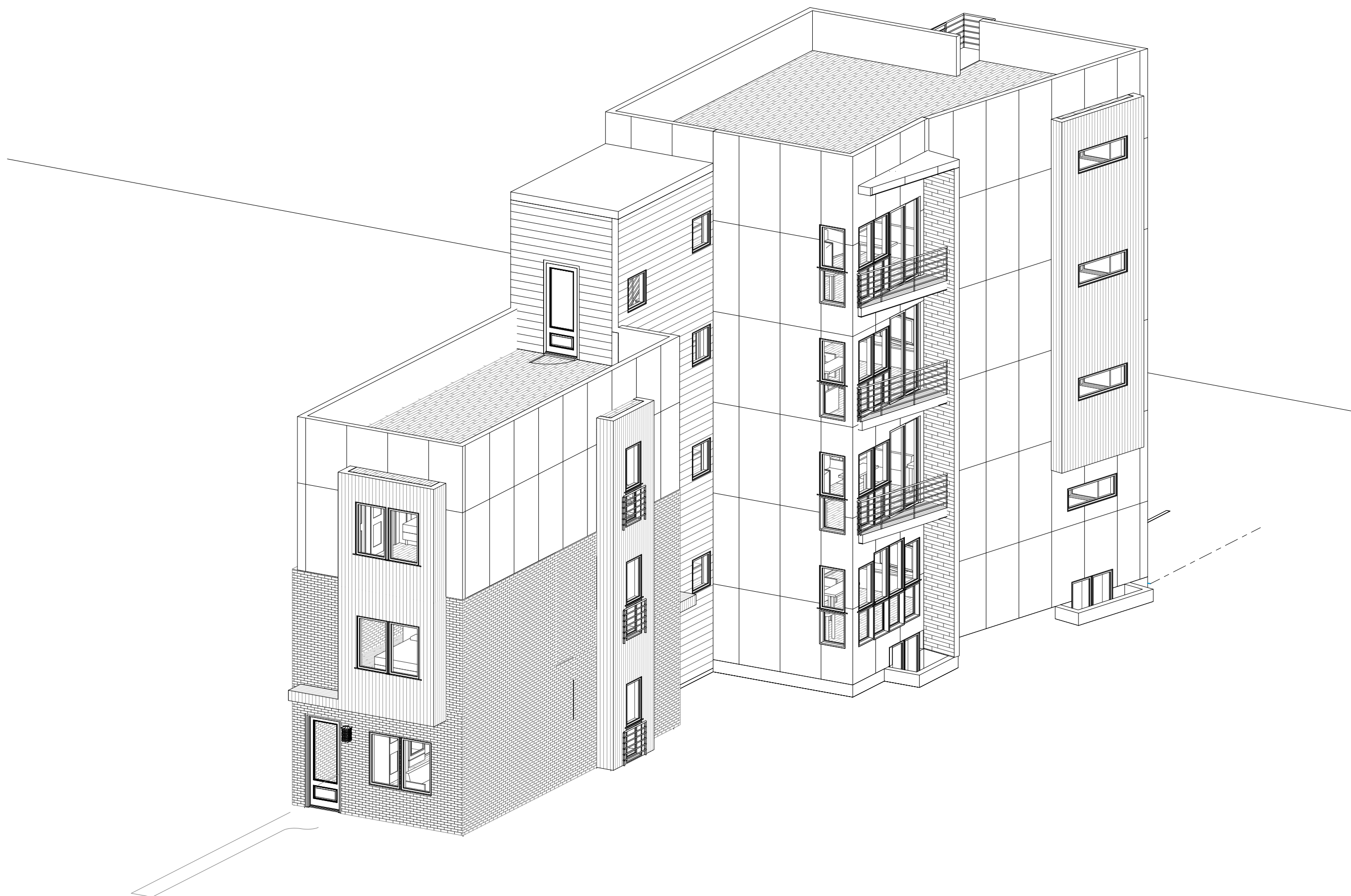
SHEET TITLE: EXTERIOR ELEVATIONS

PROJECT NO: 2017.93

DATE: 04/14/16

SCALE: 1/8" = 1'-0"

A0021



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SHEET TITLE: 3D views

PROJECT NO: 2017.93

DATE: 10/13/17

SCALE:

X