

Garage Rebuild

1758 Park Road NW Washington DC 20010

Hoffland
Architects

1810 Kilbourne Place NW
Washington, DC 20010
202.234.7795
erik@erikhoffland.com



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ZONING DATA

ZONING	RF-1
SQUARE	2607
LOT	0059
LOT SIZE	2001 SF
FOOTPRINT ALLOWED	1201 SF (60%) ROW DWELLING
EXISTING FOOTPRINT	1385 SF (1202 HOUSE + 183 GARAGE)
PROPOSED FOOTPRINT	1385 SF (NO CHANGE)
HISTORIC DISTRICT	MOUNT PLEASANT

SCOPE OF WORK

- REBUILD EXISTING GARAGE
- ALTER CONCRETE STEPS & WALK TO ALLEY

BUILDING DATA

CODE	INTERNATIONAL RESIDENTIAL CODE 2012 INTERNATIONAL EXISTING BUILDING CODE 2012 INTERNATIONAL PLUMBING CODE 2012 INTERNATIONAL MECHANICAL CODE 2012 INTERNATIONAL FUEL GAS CODE 2012 INTERNATIONAL FIRE CODE 2012 INTERNATIONAL ENERGY CONSERVATION CODE 2012 NFPA NATIONAL ELECTRICAL CODE 2011 ANSI A117.1 - 2009 DCMR TITLE 12 CODE SUPPLEMENT - 2013
CONSTRUCTION	VB
FIRE SUPPRESSION	N/A

DRAWING INDEX

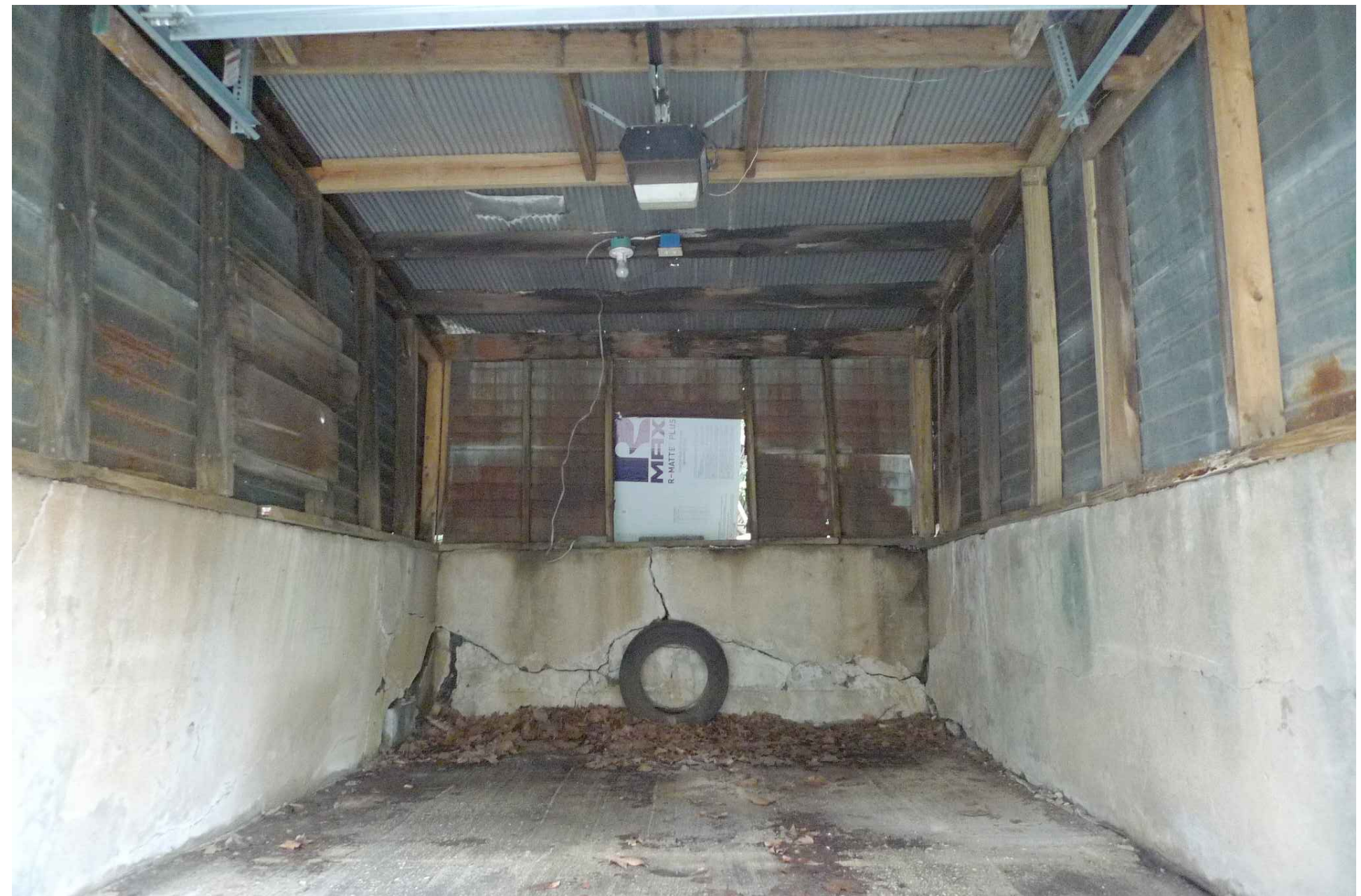
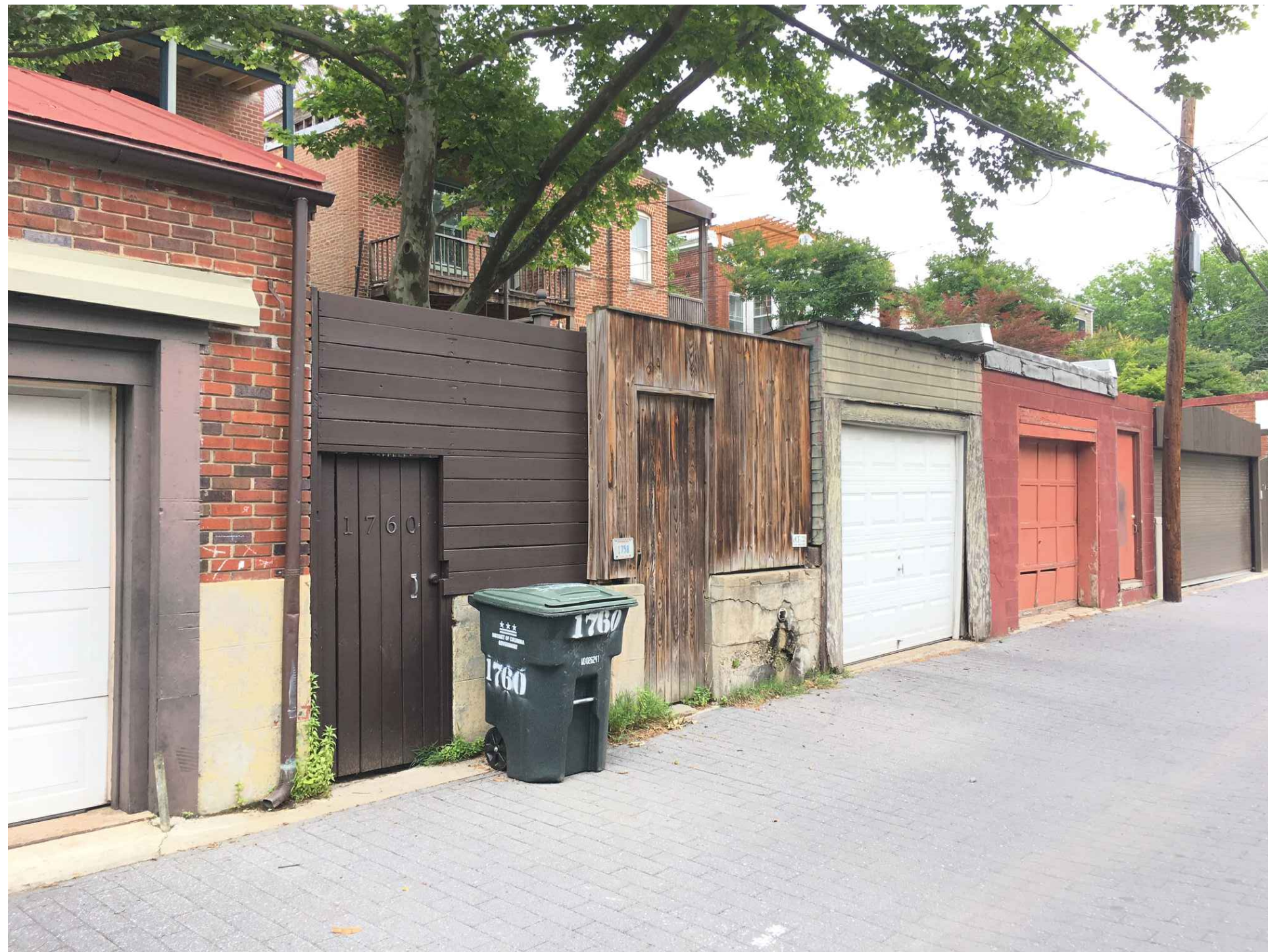
0001	COVER SHEET
A001	EXISTING CONDITION PHOTOS
A100	PLANS
A200	SITE SECTIONS
A201	GARAGE ELEVATIONS
S100	STRUCTURAL PLANS & DETAILS

issued

Permit 05.25.2017

COVER SHEET

0001



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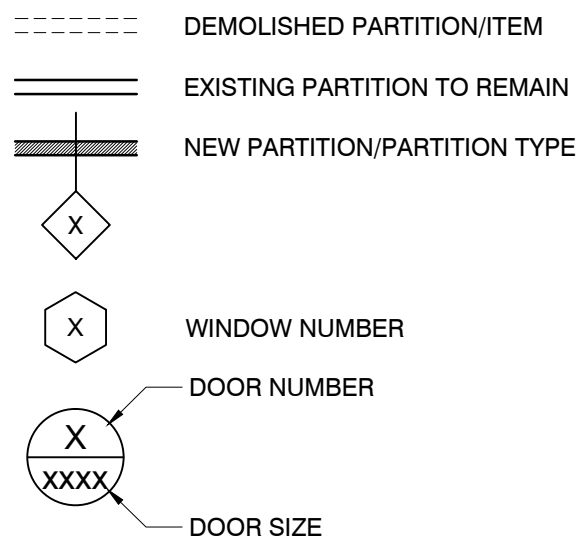
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EXISTING CONDITION
PHOTOS

A001



ARCHITECTURAL LEGEND



ARCHITECTURAL NOTES

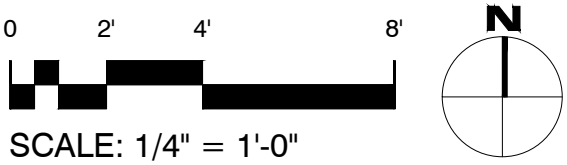
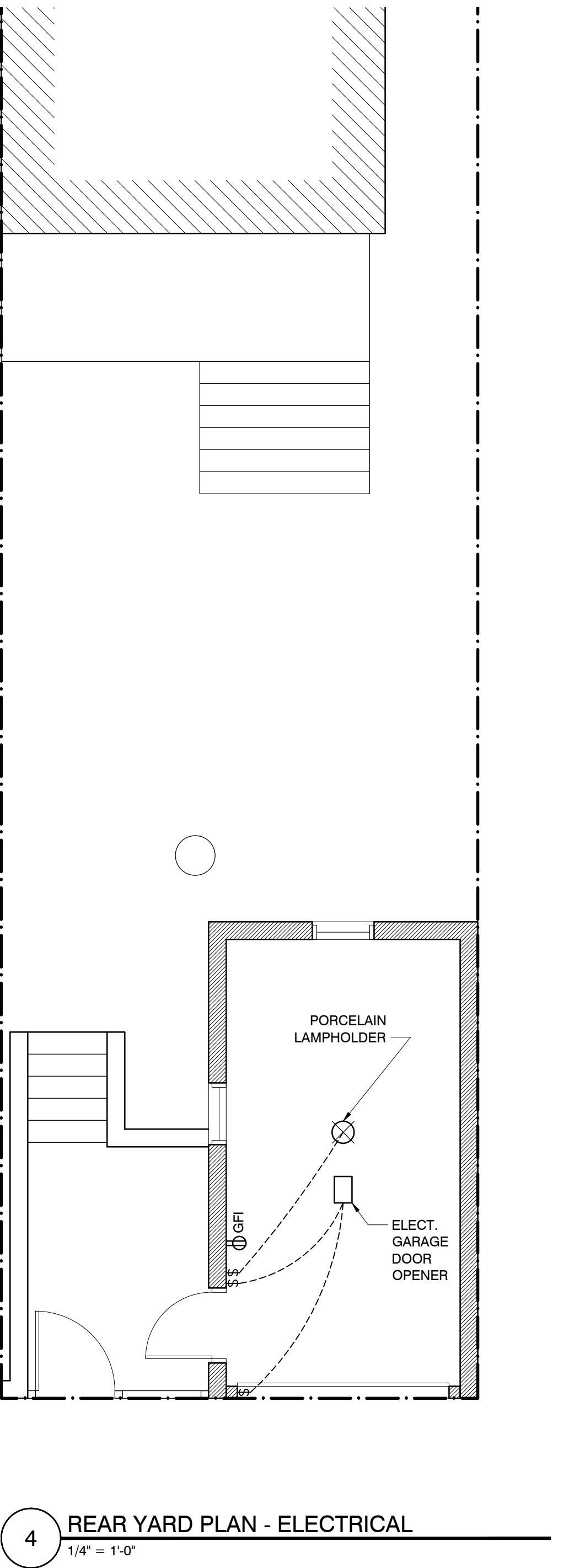
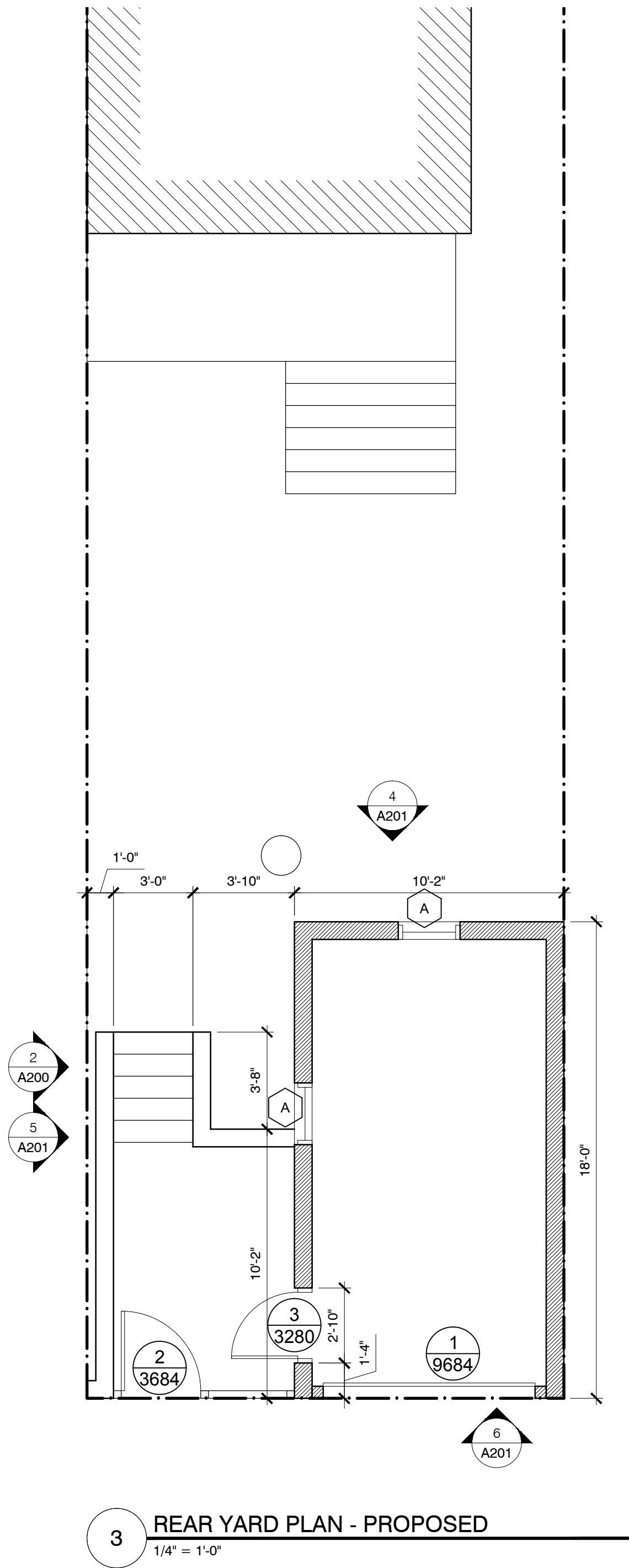
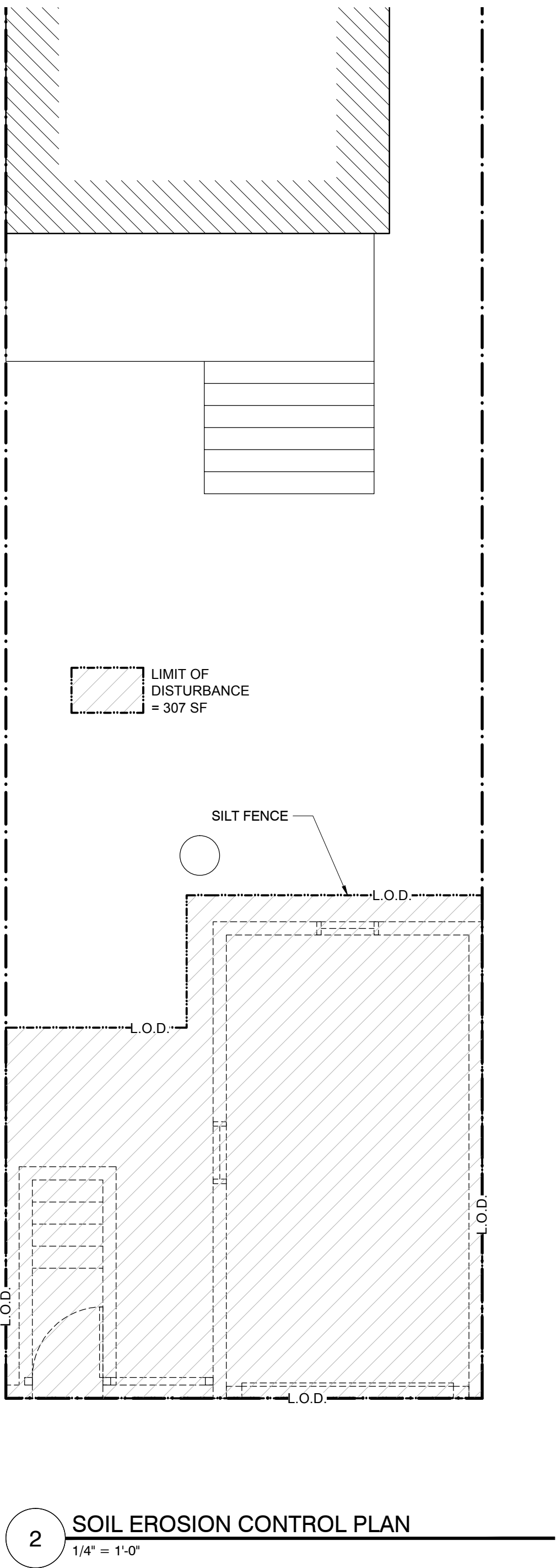
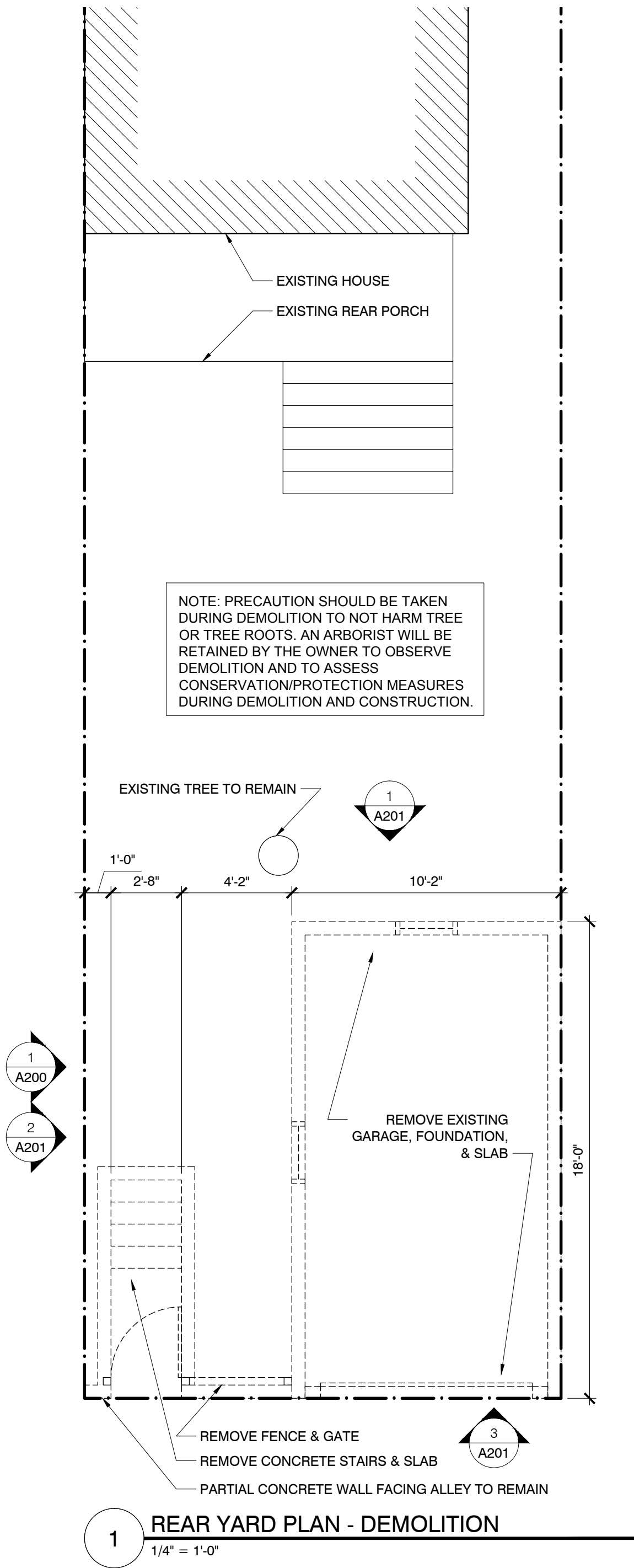
- A. ALL WALL TYPES, SEE SECTION DETAILS ON S100
B. ALL DIMENSIONS ARE SHOWN TO FINISHED FACE OF WALL. CONTRACTOR SHALL ALERT ARCHITECT/OWNER WHEN WALL LINES ARE CHALKED FOR APPROVAL PRIOR TO CONSTRUCTION.
C. ANY DISCREPANCIES BETWEEN DRAWINGS AND SITE CONDITIONS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/OWNER IMMEDIATELY FOR RESOLUTION.

MATERIALS & EQUIPMENT

1. **WINDOWS** (2) JELD-WEN PREMIUM VINYL 28W X 24H, USE SILL FLASHING PER MNFR INSTRUCTIONS
2. **DOORS**
2.1. 1" OVERHEAD DOOR CO. OR SIM. STEEL W/ 5-PANEL DESIGN AS SHOWN ON ELEVATIONS, SUPPLY WITH ELECTRIC OPENER W/ KEYPAD CONTROL AT EXTERIOR (ALLEY), ON/ON/LIGHT CONTROL AT INTERIOR (SWING DOOR), AND REMOTE WOOD GATE AS SHOWN ON ELEVATIONS. PROVIDE LOCKING HANDLESET (KEYED ALIKE)
2.2. WOOD GATE AS SHOWN ON ELEVATIONS. PROVIDE LOCKING HANDLESET (KEYED ALIKE)
2.3. SOLID PANEL STEEL SECURITY DOOR & FRAME, PROVIDE LOCKING HANDLESET (KEYED ALIKE)
3. **EXTERIOR SIDING** HARDIE PLANK, PAINTED, SEE SECTION DETAIL S100
4. **TRIM** BORAL COMPOSITE, SEE SECTION DETAILS ON S100
5. **LIGHTING FIXTURES, SWITCHES & OUTLETS** SEE ELECTRICAL PLAN

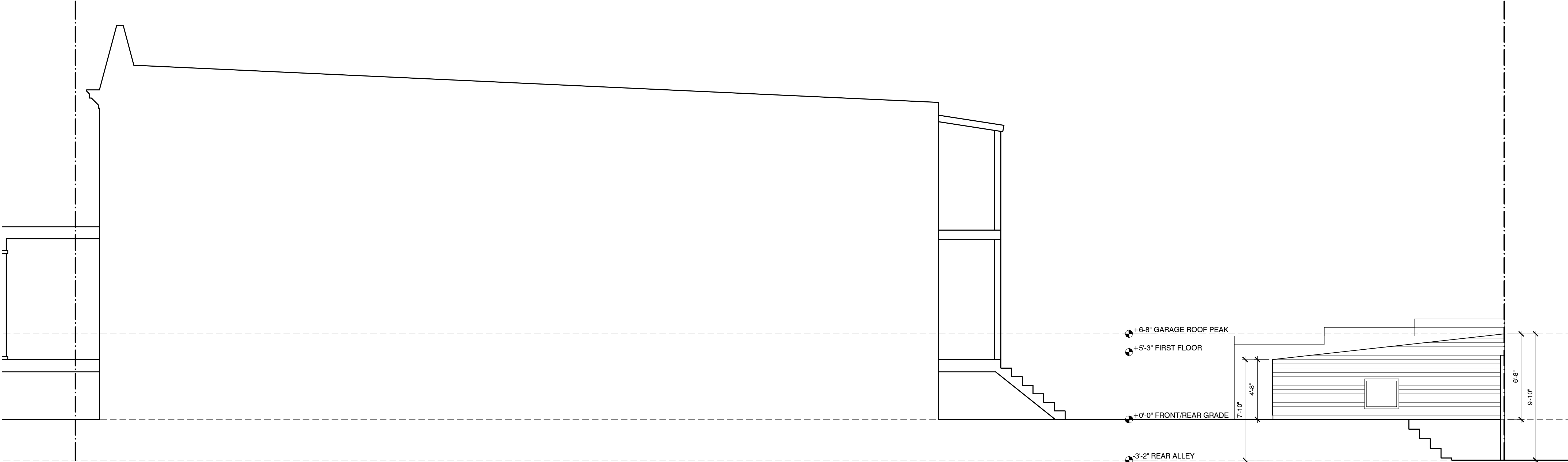
ELECTRICAL NOTES

1. ALL ELECTRICAL TO BE FED OFF OF EXISTING 15A CIRCUIT AT GARAGE.

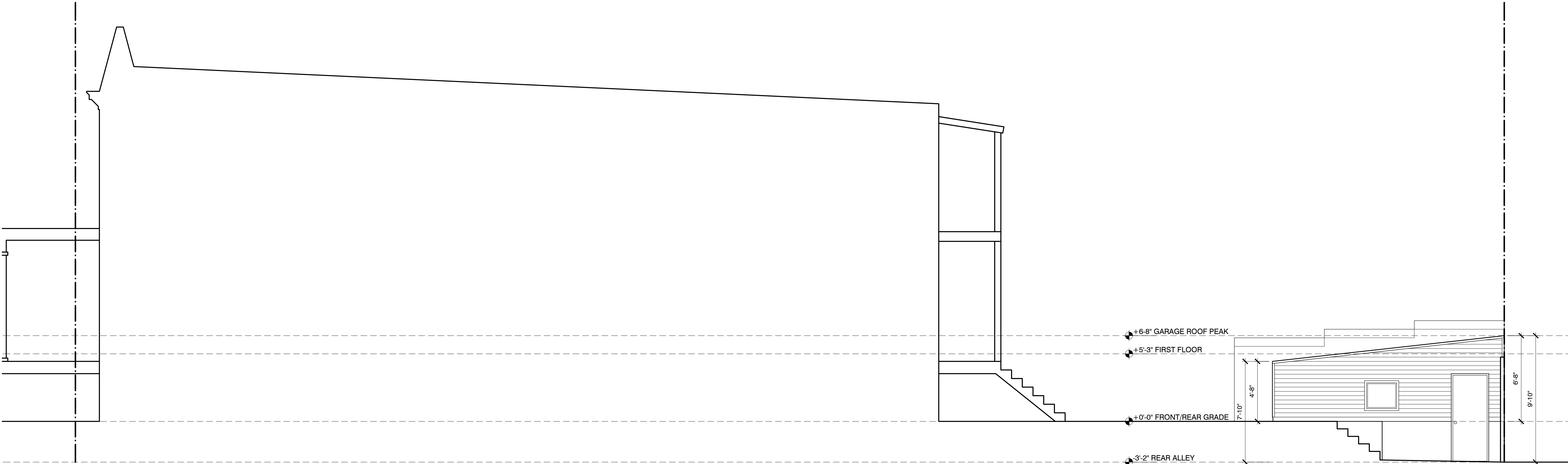




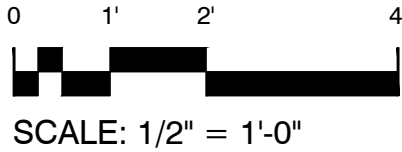
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1 SITE SECTION - EXISTING
1/2" = 1'-0"



2 SITE SECTION - PROPOSED
1/2" = 1'-0"

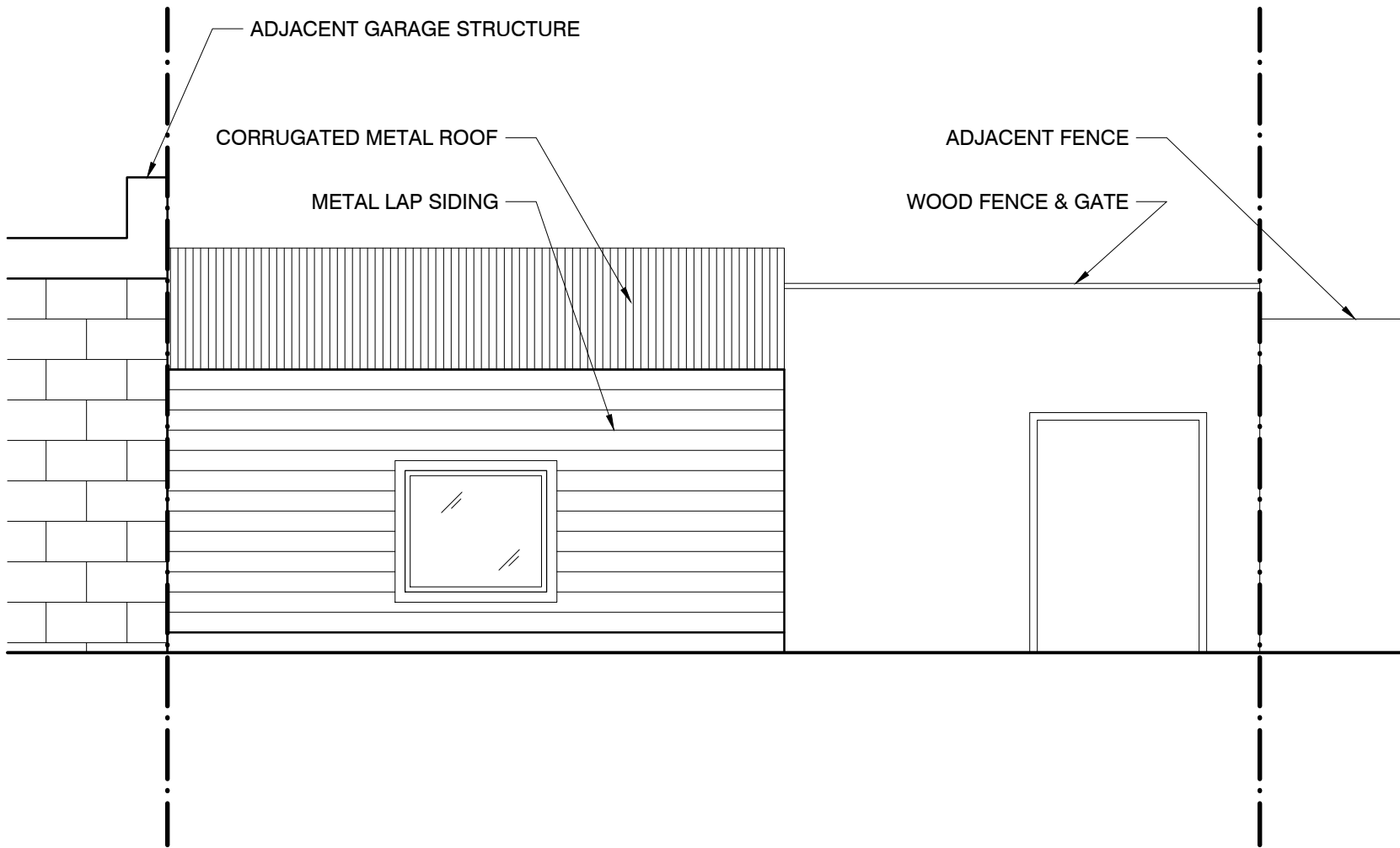


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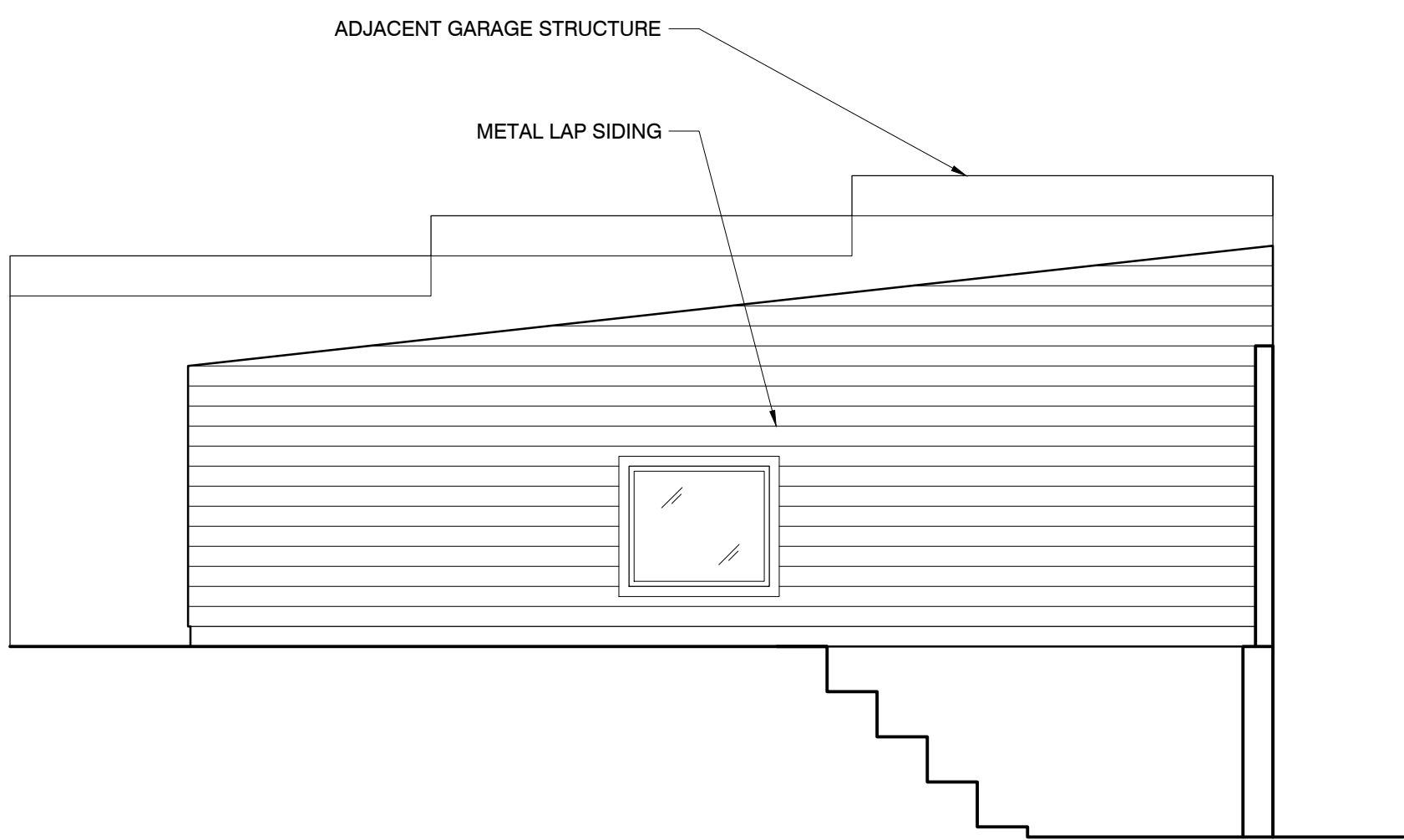
SITE SECTIONS



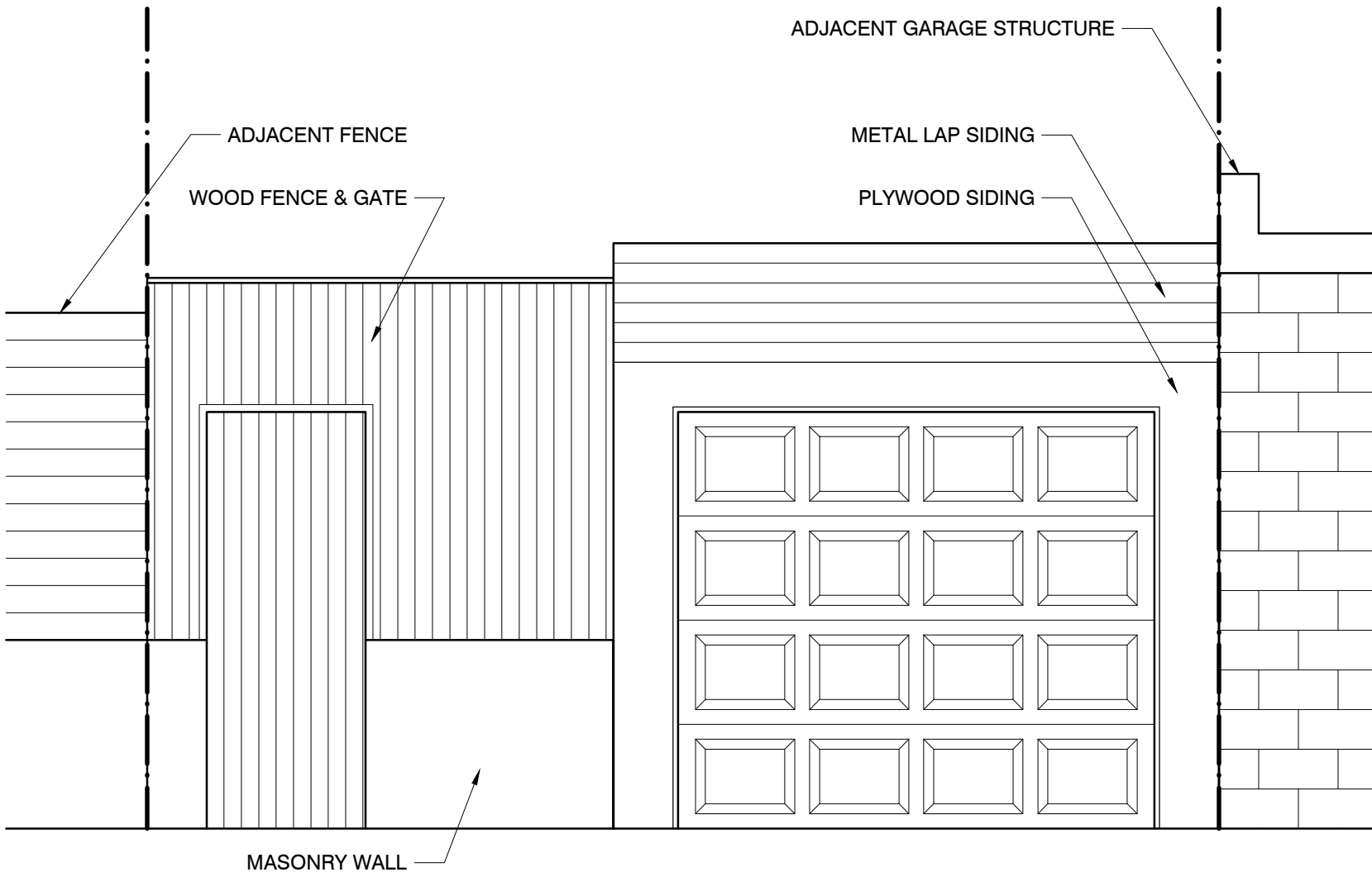
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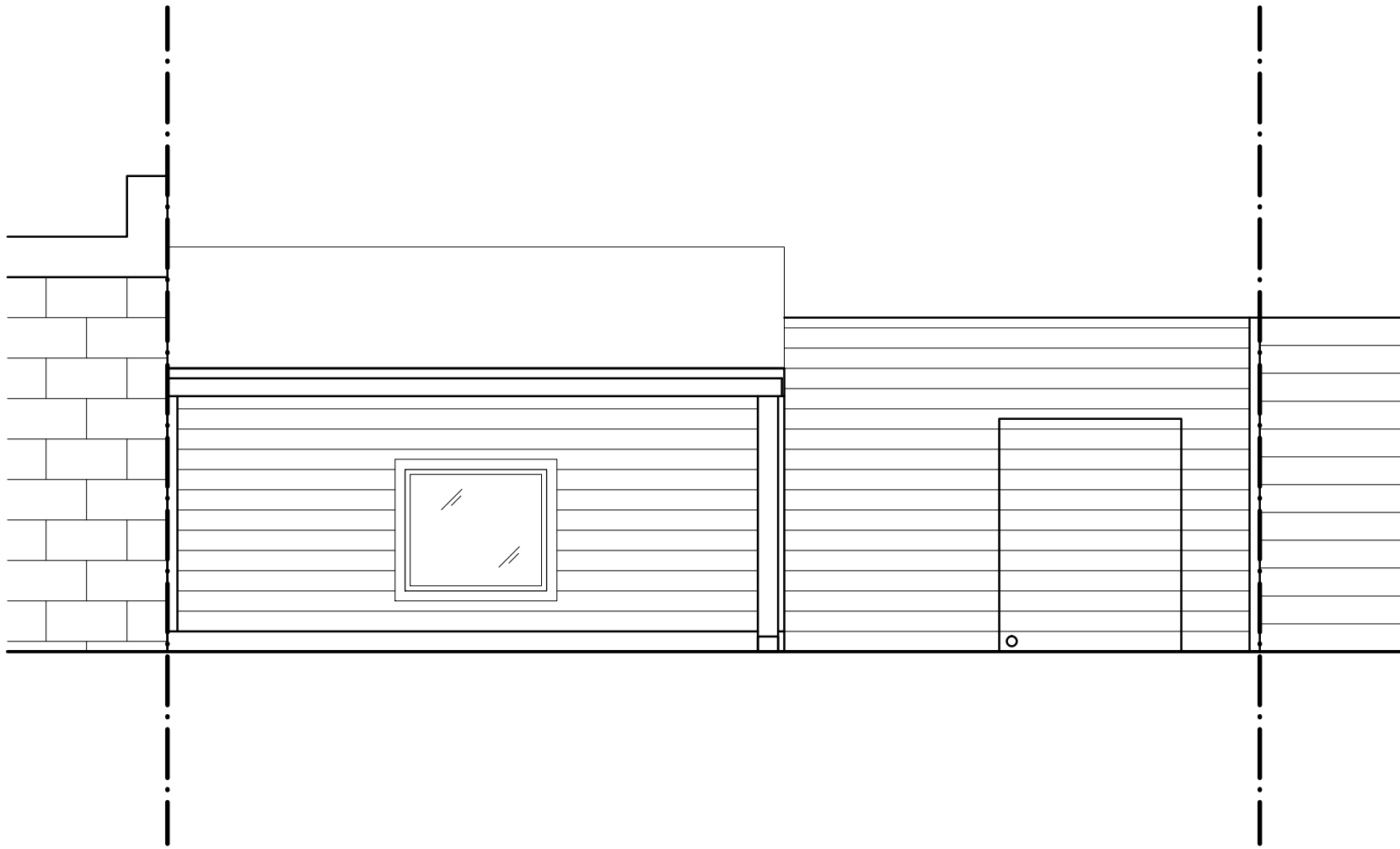
1 NORTH ELEVATION - EXISTING
3/8" = 1'-0"



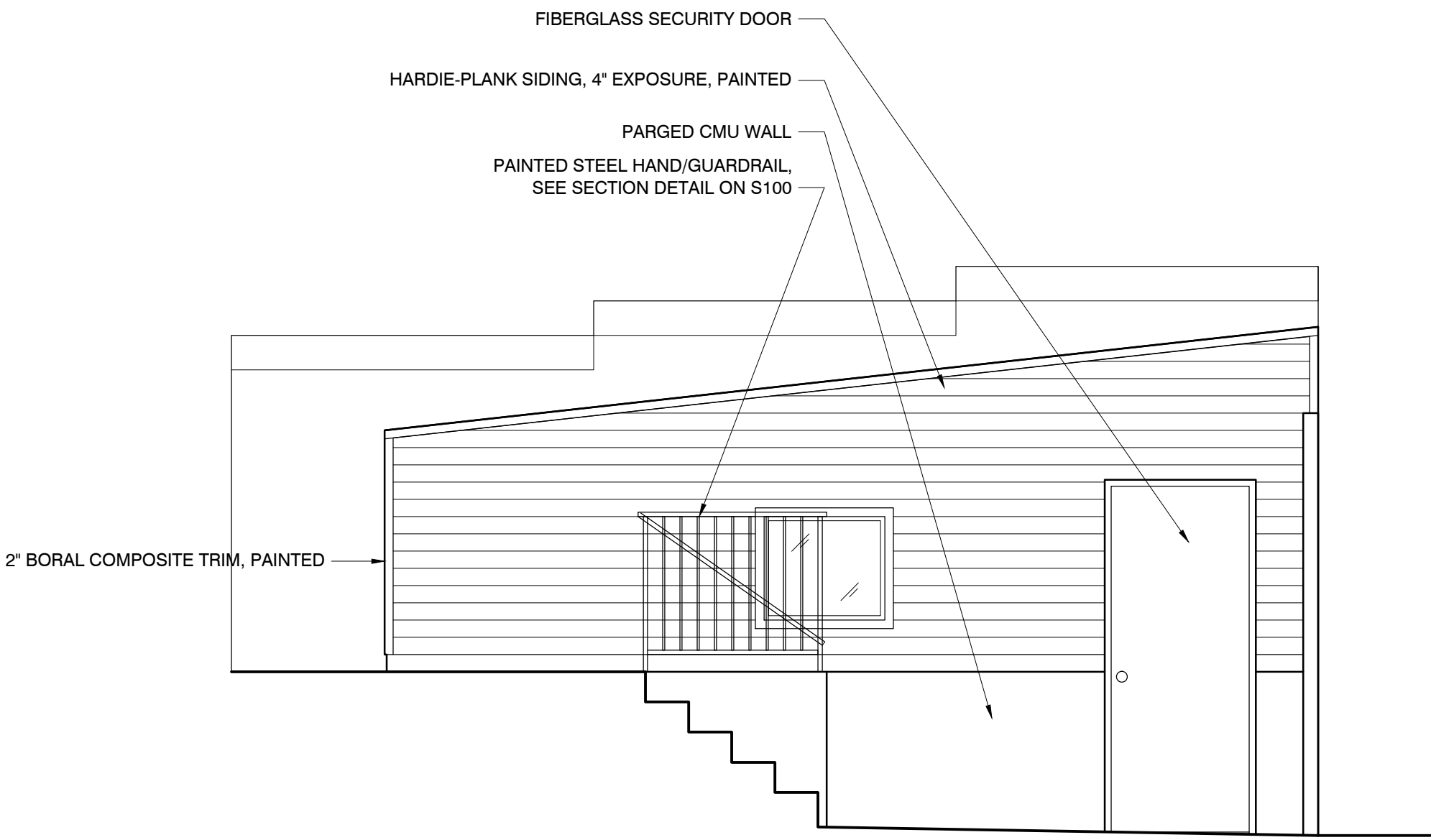
2 WEST ELEVATION - EXISTING
3/8" = 1'-0"



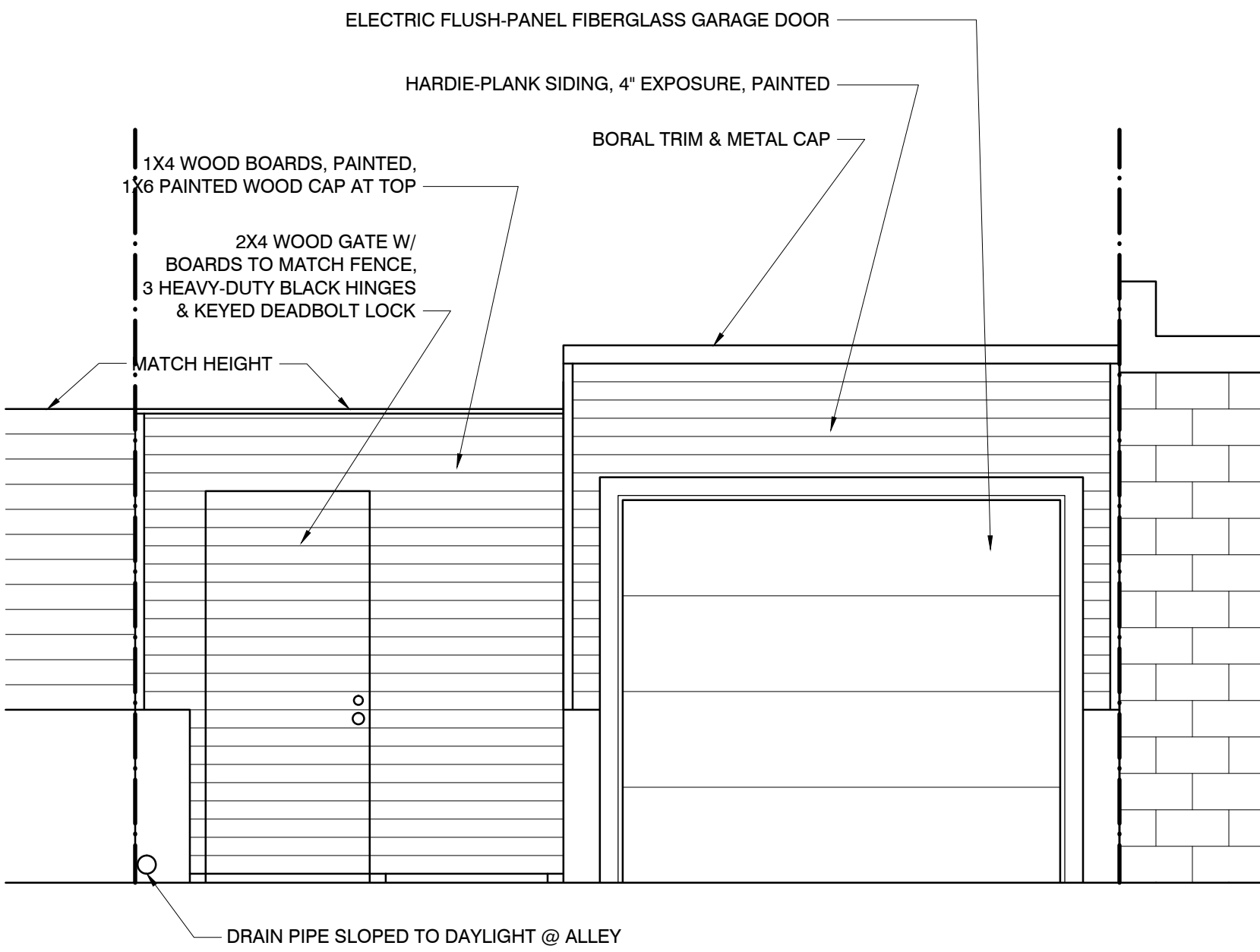
3 SOUTH (ALLEY) ELEVATION - EXISTING
3/8" = 1'-0"



4 NORTH ELEVATION - PROPOSED
3/8" = 1'-0"



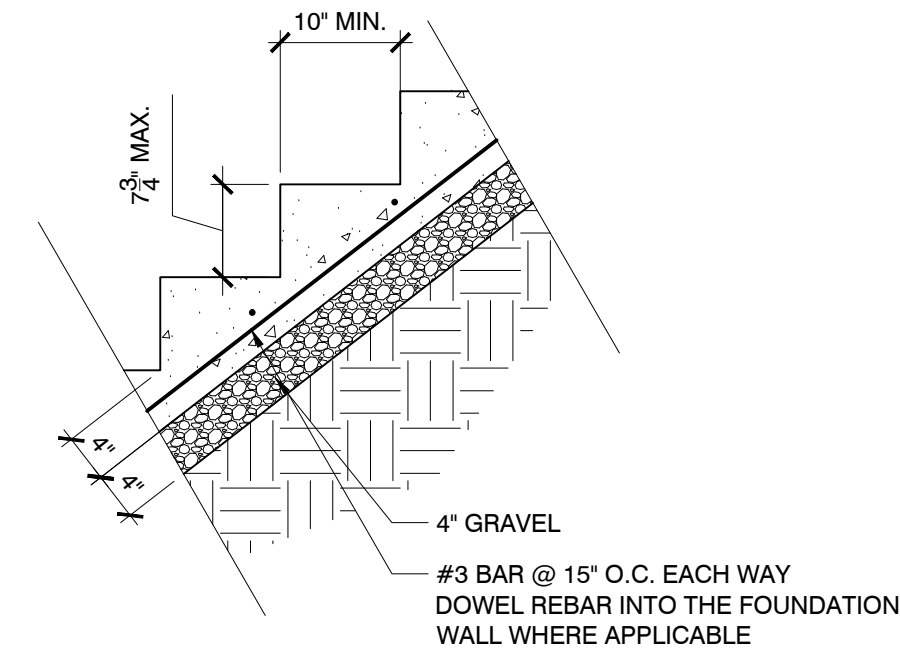
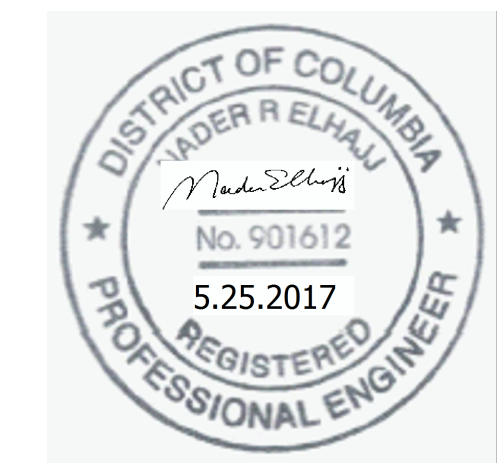
5 WEST ELEVATION - PROPOSED
3/8" = 1'-0"



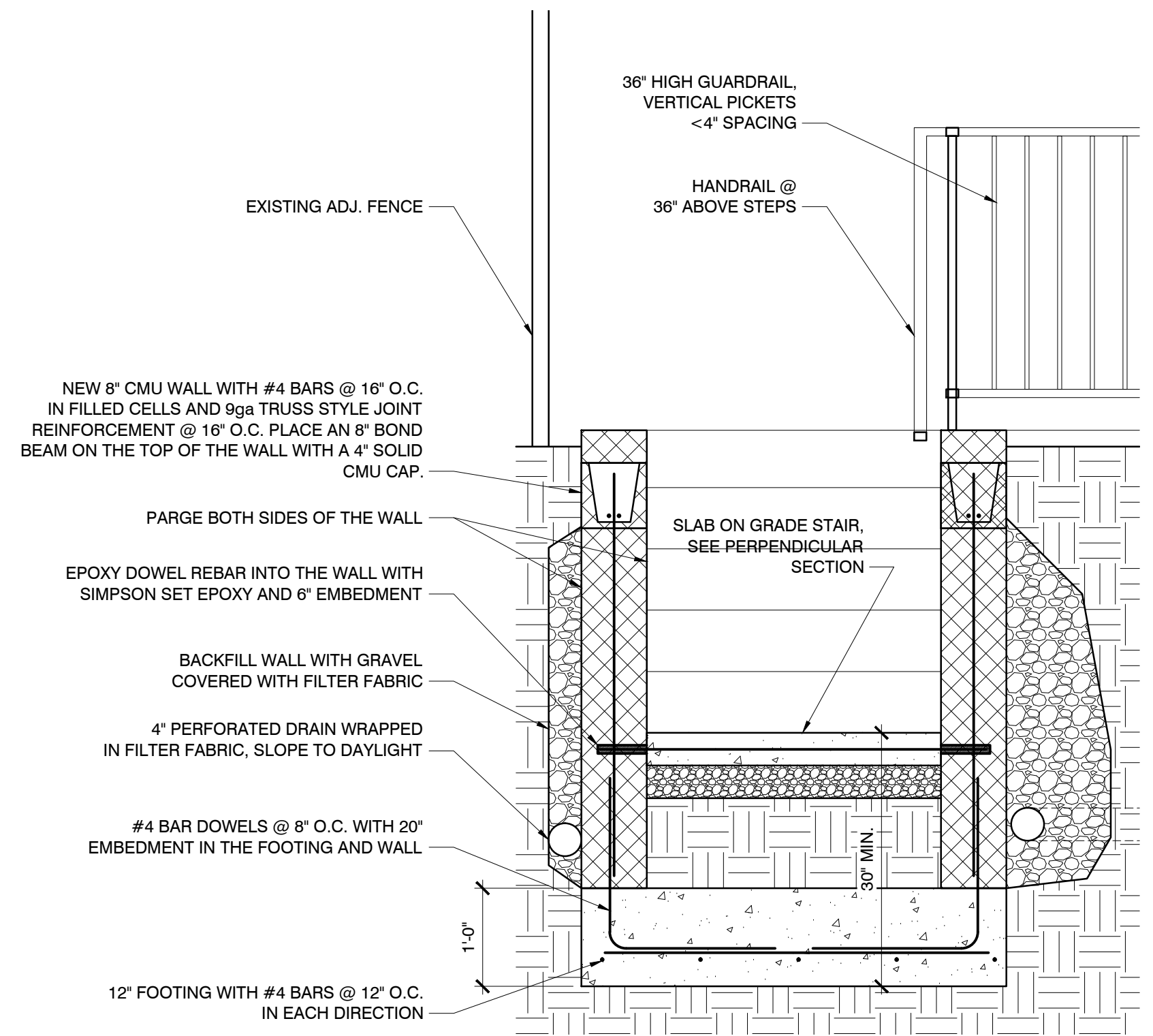
6 SOUTH (ALLEY) ELEVATION - PROPOSED
3/8" = 1'-0"

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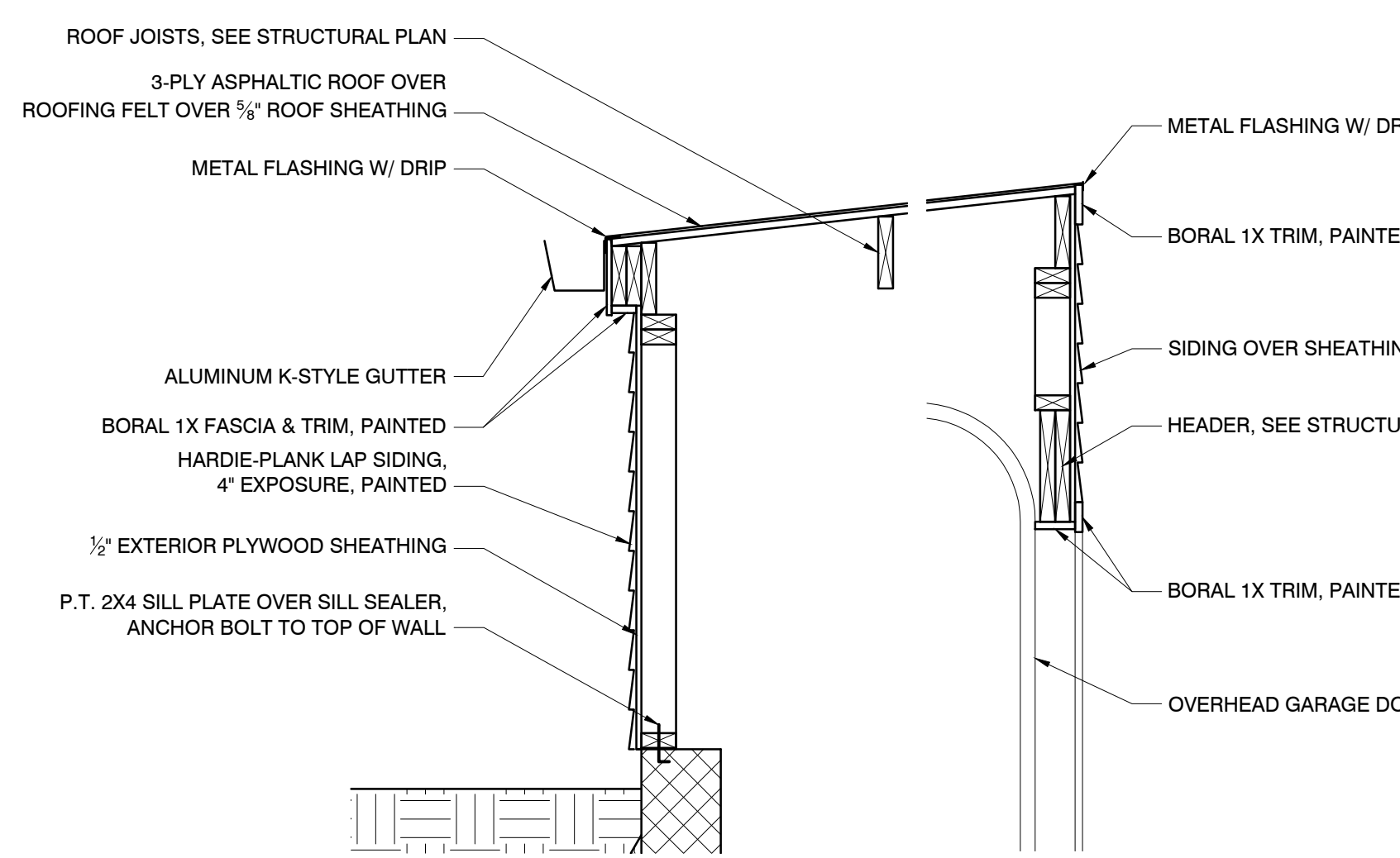
GARAGE ELEVATIONS



9 SLAB ON GRADE STAIR DETAIL
3/4" = 1'-0"

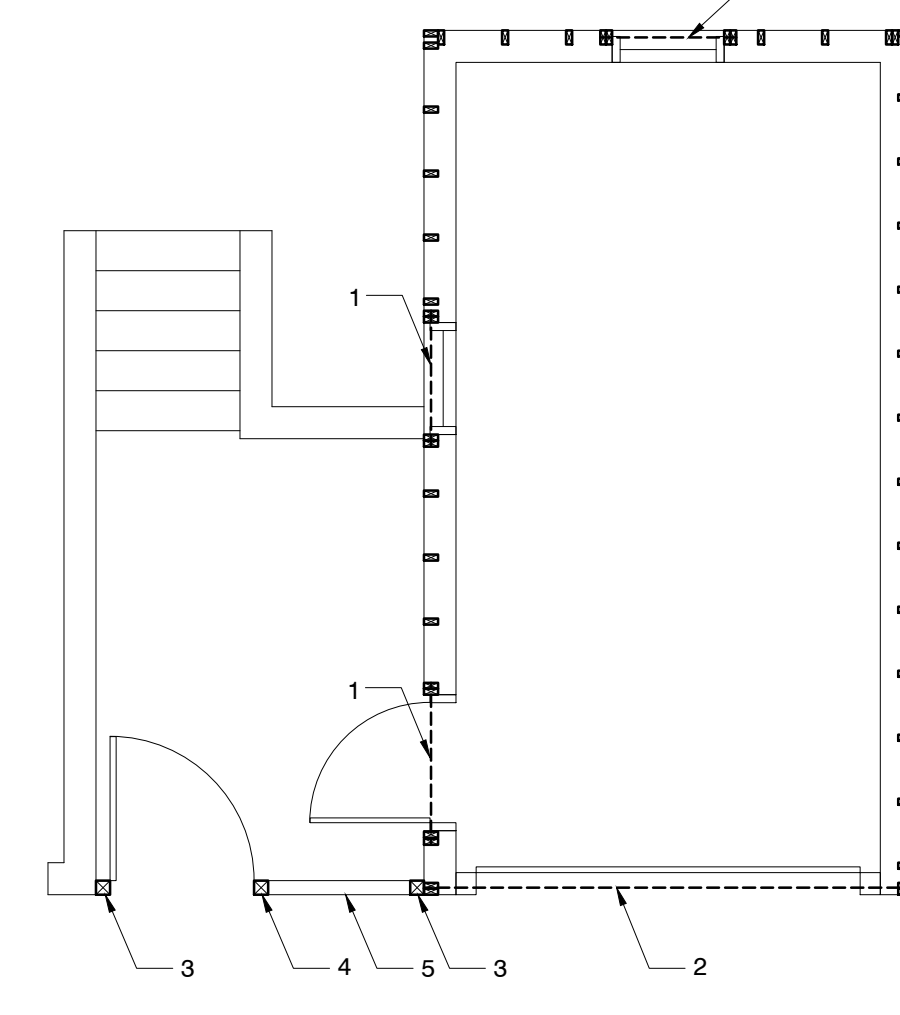


8 RETAINING WALL/STAIR SECTION DETAIL
1/4" = 1'-0"

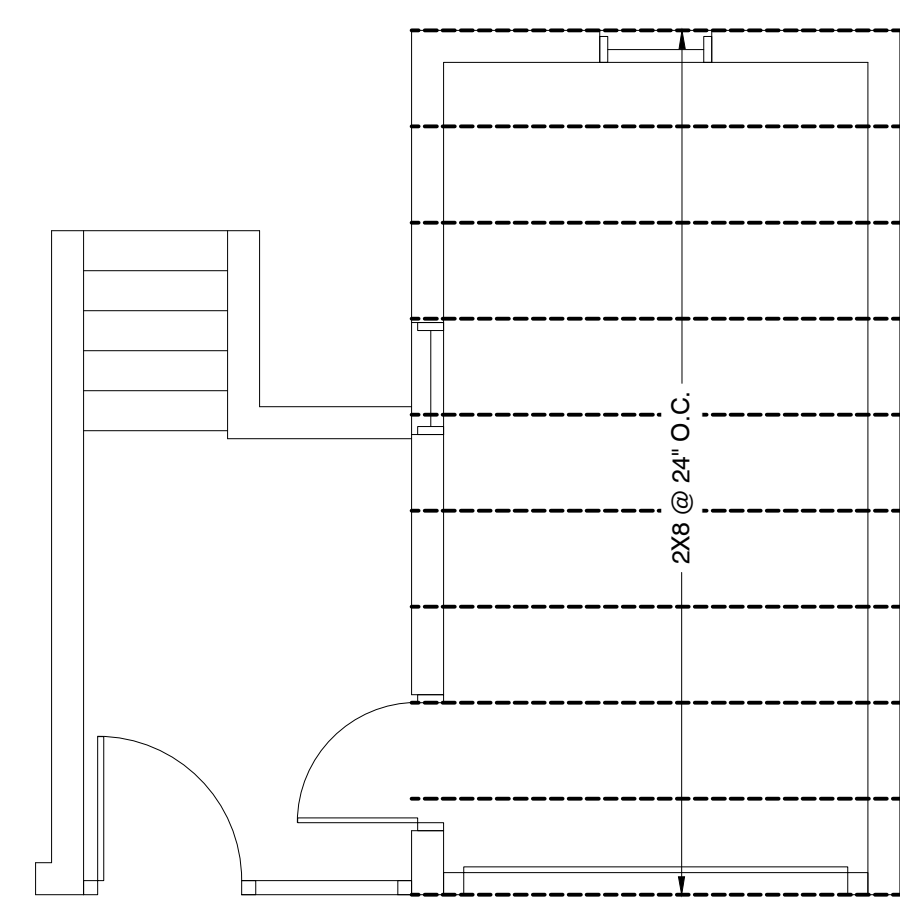


7 WALL/ROOF SECTION DETAIL
1/4" = 1'-0"

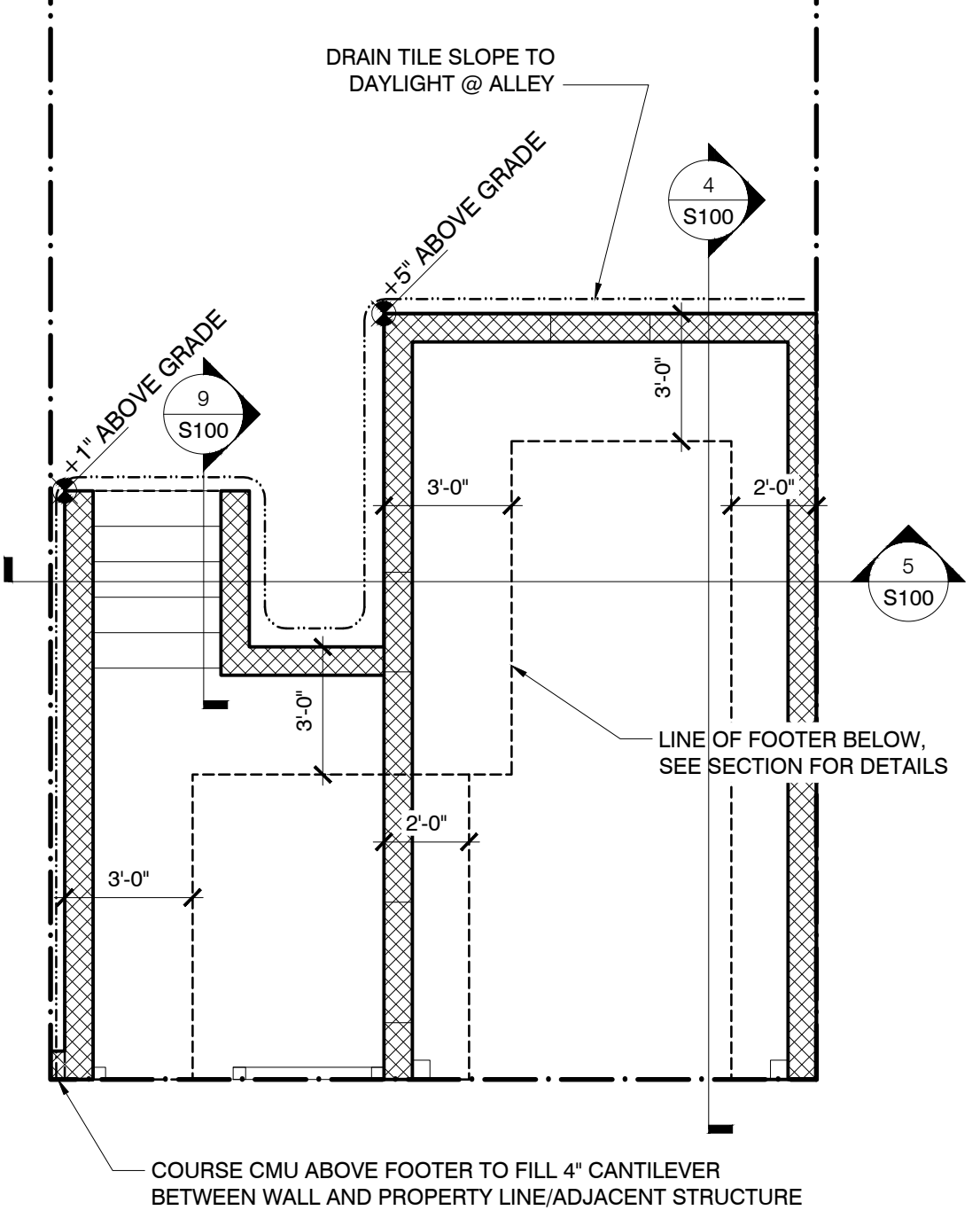
- FRAMING PLAN NOTES
1. (2)2X8 HEADER ON (2) STUDS EACH SIDE
 2. (2)2X12 HEADER ON (2) STUDS EACH SIDE
 3. 4X4 P.T. POST, LAG BOLT TO CMU WALL & ADJ. FENCE/WALL FRAMING
 4. 4X4 P.T. POST, USE SIMPSON POST BASE TO SLAB
 5. LATERAL 2X4S TO BRACE POSTS & AS NAILERS FOR 1X4 HORIZONTAL FENCE BOARDS EACH SIDE



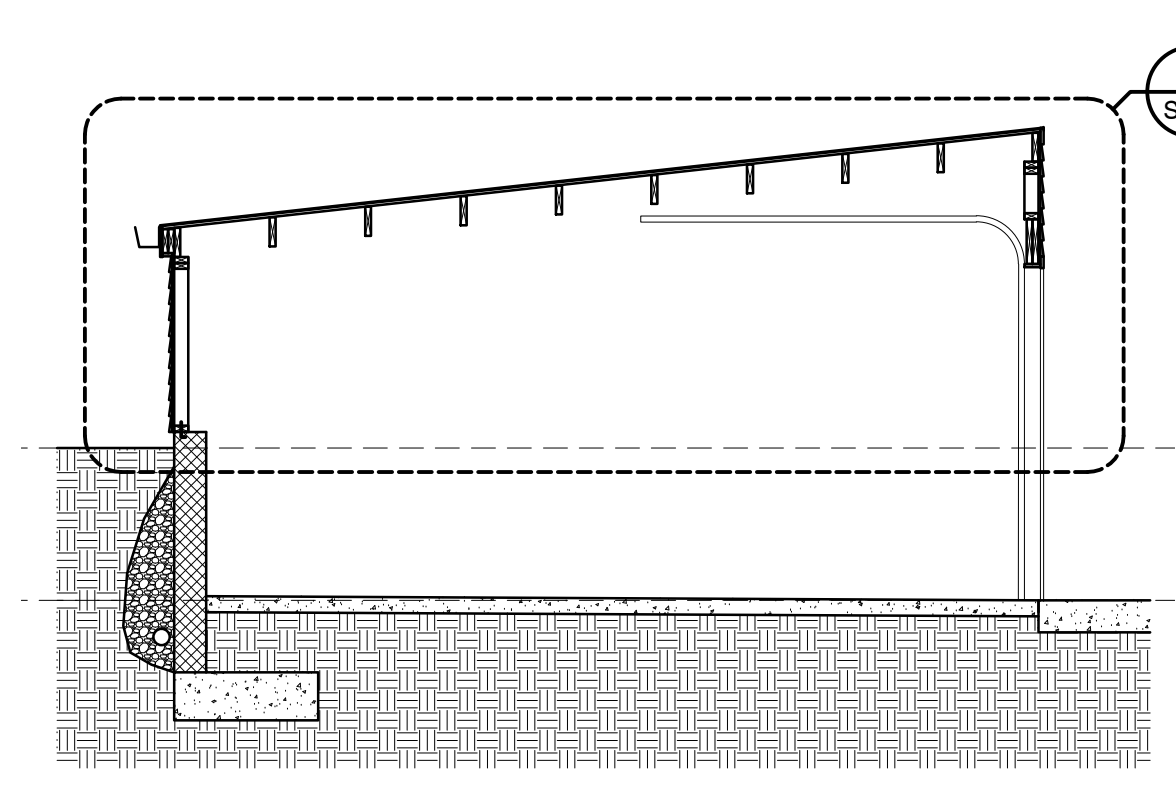
2 WALL/FENCE FRAMING PLAN
1/4" = 1'-0"



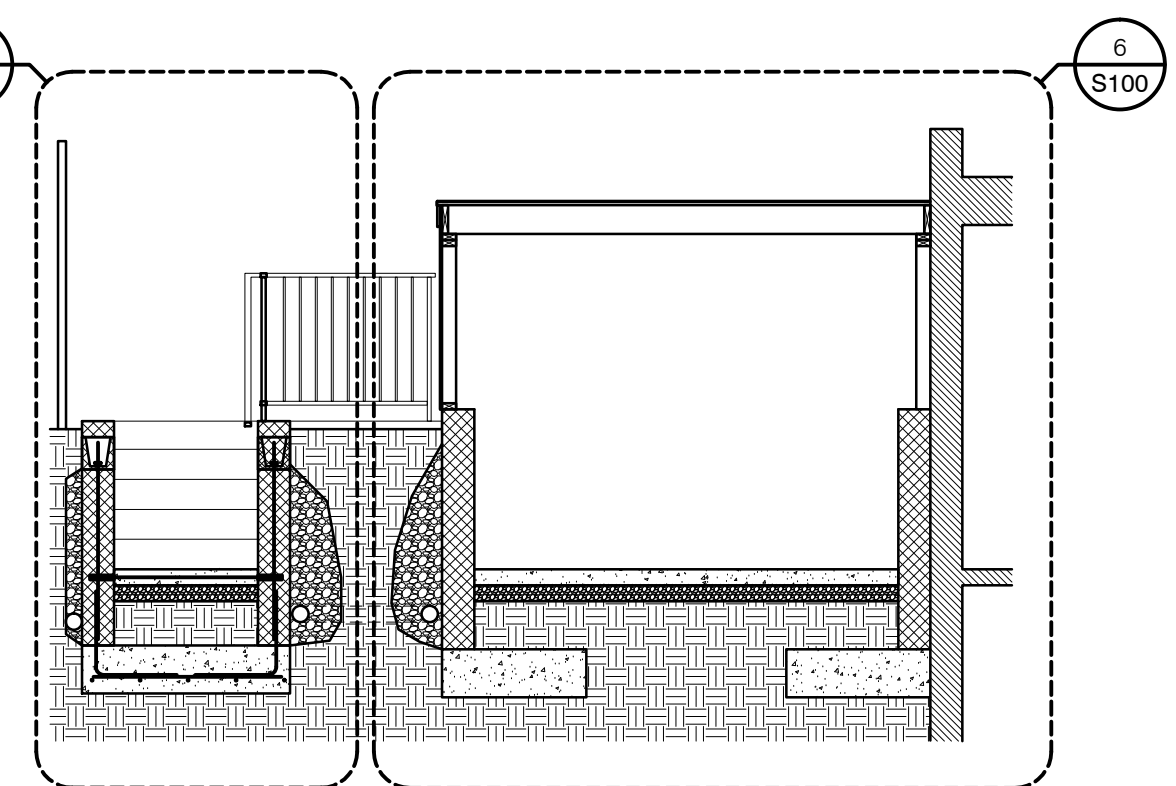
3 ROOF FRAMING
1/4" = 1'-0"



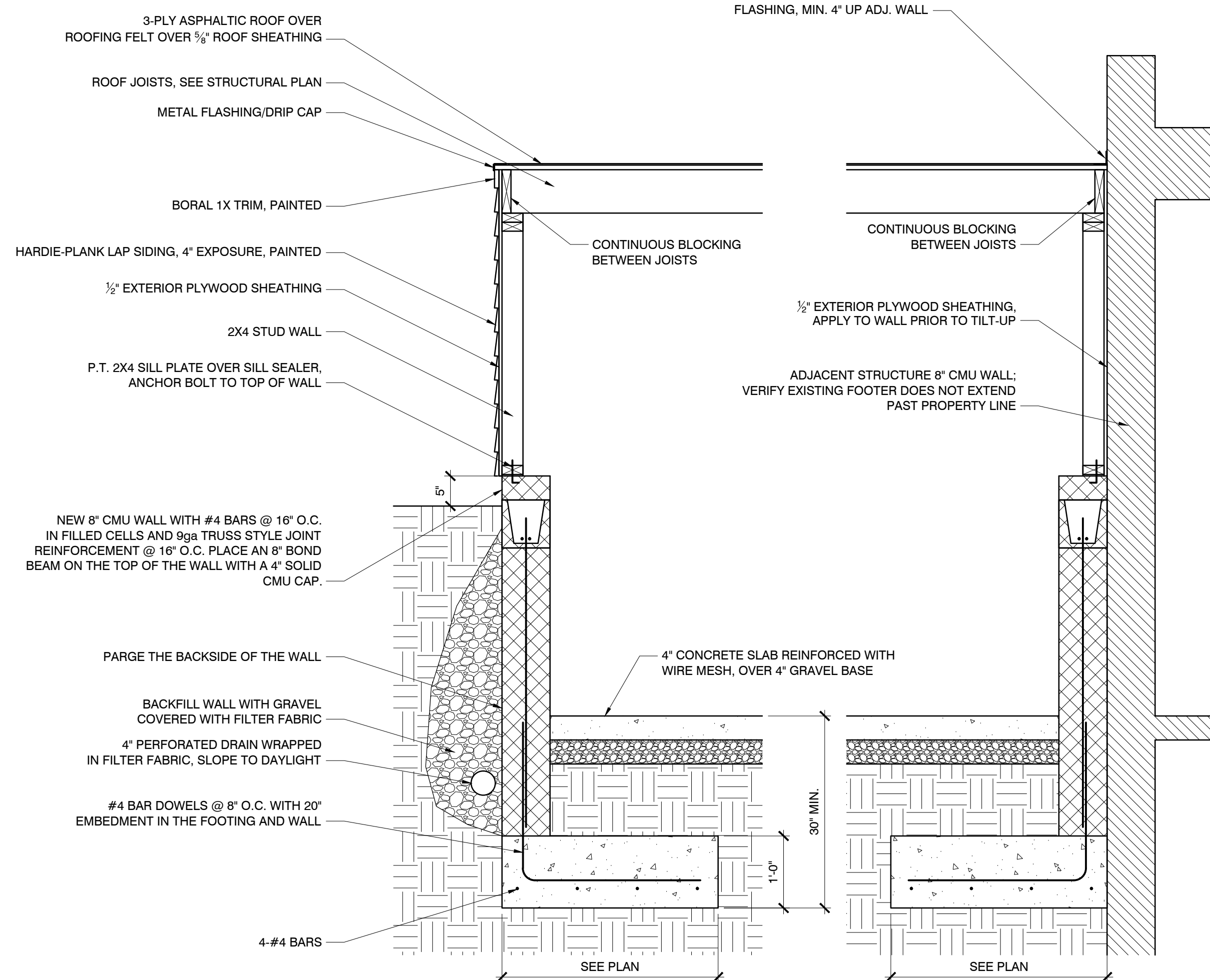
1 FOUNDATION PLAN
1/4" = 1'-0"



4 SECTION
1/4" = 1'-0"



5 SECTION
1/4" = 1'-0"



6 FOOTER/WALL/ROOF SECTION DETAIL
3/4" = 1'-0"